



Meeting Notice

TO: Board Members

FROM: Andrew Santillo

DATE: June 6, 2022

RE: Planning Board Meeting

The regular meeting of the Montgomery County Planning Board is scheduled for Thursday, June 9, 2022 at 6:30 p.m. at the Montgomery County Business Development Center, 9 Park Street, Fonda, NY.

Please call Karl at (518) 853-8334 between 8:30 a.m. and 4:00 p.m. if you have any questions.

cc: The Recorder
Montgomery Co. Legislature
DPW

The Leader Herald
Daily Gazette



MONTGOMERY COUNTY PLANNING BOARD MEETING

Thursday, June 9, 2022

6:30 PM – Montgomery County Business Development Center

- I. Pledge of Allegiance
- II. Role Call
- III. Adoption of Agenda
- IV. Approval of previous meeting minutes
- V. Public comments on agenda items (3 minute limit per person)
- VI. Town of Amsterdam — Site Plan Review
- VII. City of Amsterdam — Zoning Change
- VIII. Any other business

Montgomery County Planning Board
Meeting Minutes
May 12th, 2022

MEMBERS PRESENT:

Wayne DeMallie, Chairman
Erin Covey, Member
David Wiener, Member
Mark Hoffman, Vice Chair
Betty Sanders, Alternate

ABSENT:

Ron Jemmott, Member
Doug Stahura, Member
Angela Frederick, Member
Irene Collins, Member

STAFF MEMBERS PRESENT:

Alex Kuttesch, Senior Planner
Karl Gustafson Jr., Grant Assistant
Andrew Santillo, Assistant

OTHERS PRESENT:

David Bruns- Town of Amsterdam project
Joe Dannible- EDP
Christine Caffrey- Daycare Center
Tonya Egelston- Daycare Center

I. Call to Order

The meeting was called to order by Chairman Wayne DeMallie at 6:31 p.m.

II. Roll Call

The roll call of board members was done by Chairman DeMallie.

III. Adoption of the Agenda

David Wiener made a motion to adopt the agenda, Mark Hoffman seconded. All members present were in favor.

IV. Approval of Previous Meeting's Minutes

Betty Sanders made a motion to accept previous meeting minutes, Mark Hoffman seconded the motion. The previous minutes were approved.

V. Public Comment

There was no public comments.

VI. Town of Amsterdam- Site Plan Review

Alex Kuttesch stated the site plan review is for 168 apartments within 13 buildings off of Log City Road in the Town of Amsterdam. The Town of Amsterdam did not submit a SEQR for the project due to the resignation of their town engineer and they haven't declared lead agency yet.

Joe from EDP explained that the project was approved in the past for 74 apartments but the new owner, David Bruns is expanding the project to 168 apartment units. Joe stated that they are completing a traffic study for the project. From the preliminary studies, the traffic will be less than the original 74 apartment unit's project.

David Wiener asked if there will be any road widening on Log City Road or State Route 30. Joe stated that the project is not predicting any road widening but is going to wait to see what the official traffic study comes back with. David also asked how many parking spots per unit there will be. Joe said there will be roughly 2 spots per unit.

Betty Sanders asked what the average rent rate of these apartments. David Bruns stated that the average rent will be \$1,300 with utilities included. Erin Covey spoke up and stated that being in reality, \$1,300 for everything included is a great price and there is a lack of affordable housing within the county.

Erin Covey made the motion to approve the referral and that the town provides the board with the results of the traffic study and SEQR documents, Mark Hoffman seconded the motion.

All were in favor.

The referral was approved with stipulations that the traffic study and SEQR be sent to the board.

VII. Town of Mohawk- Special Use Permit

Alex Kuttesch stated that this referral is a Special Use Permit, the permit is for a daycare facility to be allowed in the Business Retail zone. Mark Hoffman asked if the project went to the Zoning Board, Tonya stated that the board wanted to hear the recommendations from the County Planning Board but they were very positive about the project.

Betty Sanders asked if the building will be handicap accessible, Tonya Moyer stated that the building will be handicap accessible and will offer child care to special needs children as well.

David Wiener made a motion to approve the referral, seconded by Betty Sanders.

All were in favor.

The referral was approved.

VIII. Other Business

There was no other business.

IX. Adjournment

Betty Sanders made a motion to adjourn the meeting at 7:00 p.m., seconded by David Wiener. All were in favor.

Respectfully submitted,

Karl Gustafson Jr.
Economic Development Grant Assistant

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
 assigned by the MCPB upon
 acceptance of referral for review

This Referral must be received SEVEN CALENDAR DAYS prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
 Old County Courthouse,
 PO Box 1500, Fonda, New York 12068
 Phone: 518-853-8334
 Fax: 518-853-8336

FROM: Municipal Board: Town of Amsterdam
Planning Board
 Referring Officer: Planning Board secretary
 Mail original resolution to Town of Amsterdam
283 Manny's Corner Rd.
Amsterdam, N.Y. 12010

1. Applicant: Brung Realty Group LLC Site Address: Log City Rd. & NYS Rt. 30
3. Tax Map Number(s): 24.12-4-7.3 4. Acres: 16.50
5. Is the site currently serviced by public water? ☐ Yes ☒ No
6. On-site waste water treatment is currently provided by: ☐ Public Sewer or ☐ Septic System
7. Current Zoning: R-1 & R-2 8. Current Land Use: Vacant
9. Project Description: build 168 (one and two bedroom apartments) within 13
buildings with covered parking spaces. Solar panels to be installed
on roof tops & parking spaces.

10. MCPB Jurisdiction:

- ☐ Text Adoption or Amendment ☐ Site is located within 500' of: _____
- ☐ a municipal boundary.
- ☒ a State or County thruway/highway/roadway
- ☐ an existing or proposed State or County park/recreation area
- ☐ an existing or proposed County-owned stream or drainage channel
- ☐ a State or County-owned parcel on which a public building or institution is situated
- ☐ a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)

11. PUBLIC HEARING: Date: may 4, 2022 Time: 6:50 am Location: Town of Amsterdam
283 Manny's Corner Rd.
Amsterdam, N.Y. 12010
- Referred Action(s)
- If referring multiple, related actions, please identify the referring municipal board if different from above.

12. ☐ Text Adoption or ☐ Amendment Referring Board: _____
- ☐ Comprehensive Plan ☐ Local Law ☐ Zoning Ordinance ☐ Other _____

13. ☐ Zone Change Referring Board: _____
- Proposed Zone District: _____ Number of Acres: _____
- Purpose of the Zone Change: _____

14. ☒ Site Plan ☐ Project Site Review Referring Board: Planning Board

Proposed Improvements: _____

Proposed Use: build NetZero apartments

Will the proposed project require a variance? ☐ Yes ☒ No Type: ☐ Area ☐ Use

Specify: _____

Is a State or County DOT work permit needed? If Yes : ☐ State or ☒ County ☐ No

Specify: _____

15. ☐ Special Permit

Referring Board: _____

Section of local zoning code that requires a special permit for this use: _____

Will the proposed project require a variance?

☐ Yes☐ NoType: ☐ Area☐ Use

16. Variance

Referring Board: _____

☐ Area☐ Use

Section(s) of local zoning code to which the variance is being sought: _____

Describe how the proposed project varies from the above code section: _____

SEQR Determination

Action:

Finding:

☒ Type I☐ Positive Declaration – Draft EIS☐ Type II☐ Conditional Negative Declaration☐ Unlisted Action☐ Negative Declaration☐ Exempt☐ No Finding (Type II Only)SEQR determination made by (Lead Agency): not determined yet Date: _____

REQUIRED MATERIAL

Send 3 copies of a "Full Statement of the Proposed Action" which includes:

All materials required by and submitted to the referring body as an application

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 l and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Darlene Philbrook
Name, Title & Phone Number of Person Completing this Form

Planning Board Secretary

518-842-1217

4/21/22
Transmittal Date

This side to be completed by Montgomery County Planning.

REFERRAL FORM
MONTGOMERY COUNTY PLANNING BOARD

TO: _____

Receipt of 239-m referral is acknowledged on _____. Please be advised that the Montgomery County Planning Board has reviewed the proposal stated on the opposite side of this form on _____ and makes the following recommendation.

☐ Approves

☐ Approves (with Modification)

☐ Disapproves:

☐ No significant County-wide or inter-community input

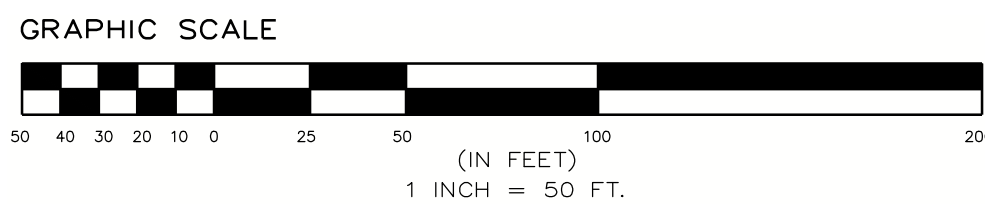
☐ Not subject to Planning Board review

☐ Took no action

Section 239-m of the General Municipal Law requires that within thirty days after final action by the municipality is taken; a report of the final action shall be filed with the County Planning Board.

Date

Kenneth F. Rose, Director
Montgomery County Dept. of Economic
Development and Planning



SITE PLAN LEGEND:

DETAIL NUMBER
12
SHEET NUMBER

DETAIL KEY

ACCESSIBLE PARKING SYMBOL

PARKING OR TRAFFIC SIGN WITH LABEL

ACCESSIBLE OR PARKING STRIPING

ACCESSIBLE RAMP PATTERN

DETECTABLE WARNING STRIP

NUMBER OF PARKING SPACES DESIGNATION

SINGLE DOUBLE LAMP
POST POST
WALL PACK WALL PACK

SITE LIGHTING

PAVEMENT LIMITS

ASPHALT WING CURB

AREA OF ASPHALT PAVEMENT

AREA OF HEAVY DUTY ASPHALT PAVEMENT

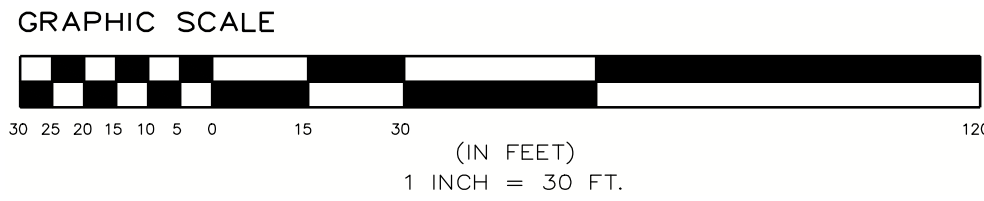
AREA OF HEAVY LIGHT ASPHALT PAVEMENT

AREA OF CONCRETE

SIGN LEGEND		MUTCD DESIGNATION	QUANTITY
SYMBOL	SIGN		
•	STOP SIGN	R1-1	11

LANDS N/F OF
PEOPLE OF THE STATE OF NEW YORK
MAP 81, PARCEL 54
PROPERTY ACQUIRED AS A CONSERVATION
AREA TO MITIGATE WETLANDS IMPACTED BY
THE PROPOSED CONSTRUCTION OF
THE RECONSTRUCTION OF N.Y.S. ROUTE 30
(AMSTERDAM-VOORHEES ROAD)

LANDS N/F OF
EDWARD E. & JUDITH HIRT
INSTRUMENT No. 2013-53164



SITE PLAN FOR:
LOG CITY ROAD APARTMENTS
APPLICANT: BRUNS REALTY GROUP, LLC

NYS ROUTE 30 AND LOG CITY ROAD
TOWN OF AMSTERDAM
MONTGOMERY COUNTY, NEW YORK

DRAWN BY	DATE	BY
CHECKED BY	DATE	BY
PROJECT NUMBER	12058	
REVISION		
DATE	BY	

SCALE:
1" = 30'

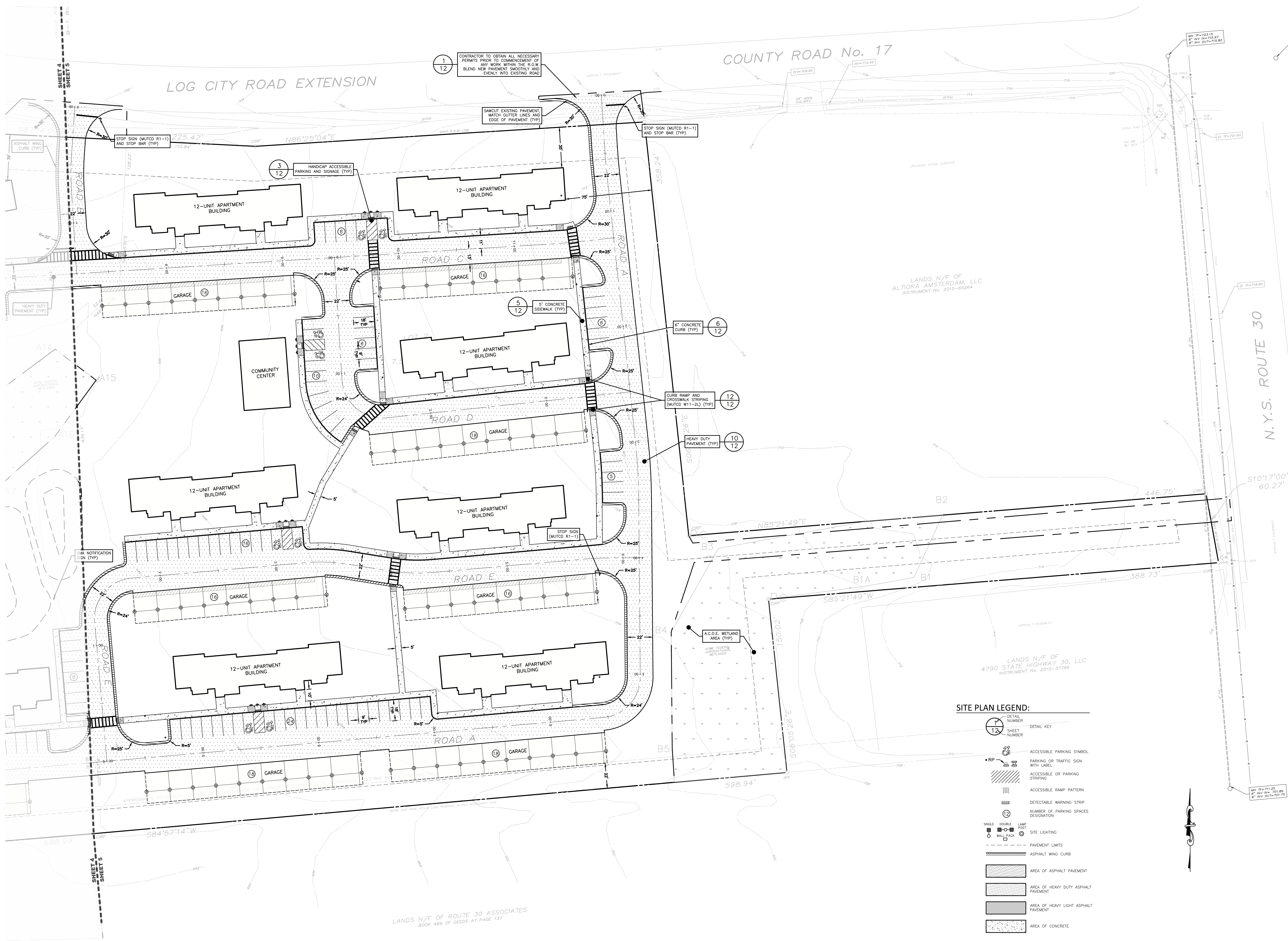
NOT FOR
CONSTRUCTION

SHEET TITLE:
SITE PLAN

SHEET:
4 of 14

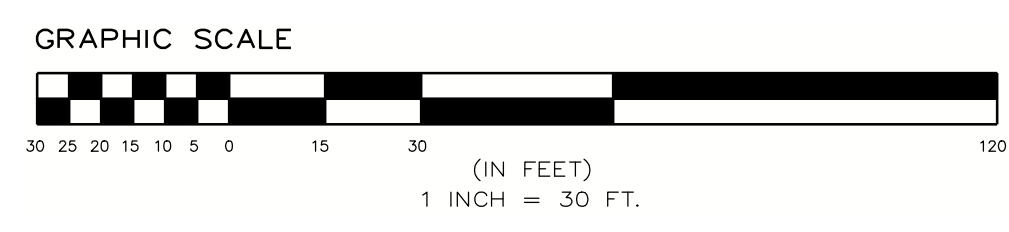
TAX MAP No. 24.12-4-7.3
APRIL 2022

ENVIRONMENTAL DESIGN
PARTNERSHIP, LLP.
900 Route 466
Citation Park, New York, 12065
(518) 577-0421
edp



SITE PLAN LEGEND:

- 12 DETAIL NUMBER
- 12 SHEET NUMBER
- RP ACCESSIBLE PARKING SYMBOL
- PARKING OR TRAFFIC SIGN WITH LABEL
- ACCESSIBLE OR PARKING STRIPING
- ACCESSIBLE RAMP PATTERN
- DETECTABLE WARNING STRIP
- NUMBER OF PARKING SPACES DESIGNATION
- SINGLE DOUBLE LAMP POST WALL PACK SITE LIGHTING
- PAVEMENT LIMITS
- ASPHALT WING CURB
- AREA OF ASPHALT PAVEMENT
- AREA OF HEAVY DUTY ASPHALT PAVEMENT
- AREA OF HEAVY LIGHT ASPHALT PAVEMENT
- AREA OF CONCRETE



SITE PLAN FOR:
LOG CITY ROAD APARTMENTS
APPLICANT: BRUNS REALTY GROUP, LLC

NYS ROUTE 30 AND LOG CITY ROAD
TOWN OF AMSTERDAM
MONTGOMERY COUNTY, NEW YORK

DESIGNED BY	DATE
CHECKED BY	DATE
PROJECT NUMBER	12058
REVISION	DATE

SCALE: 1:30

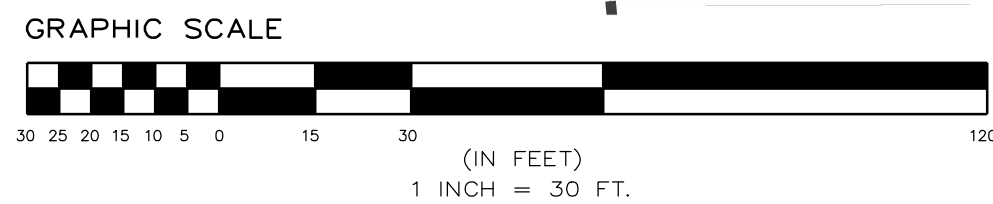
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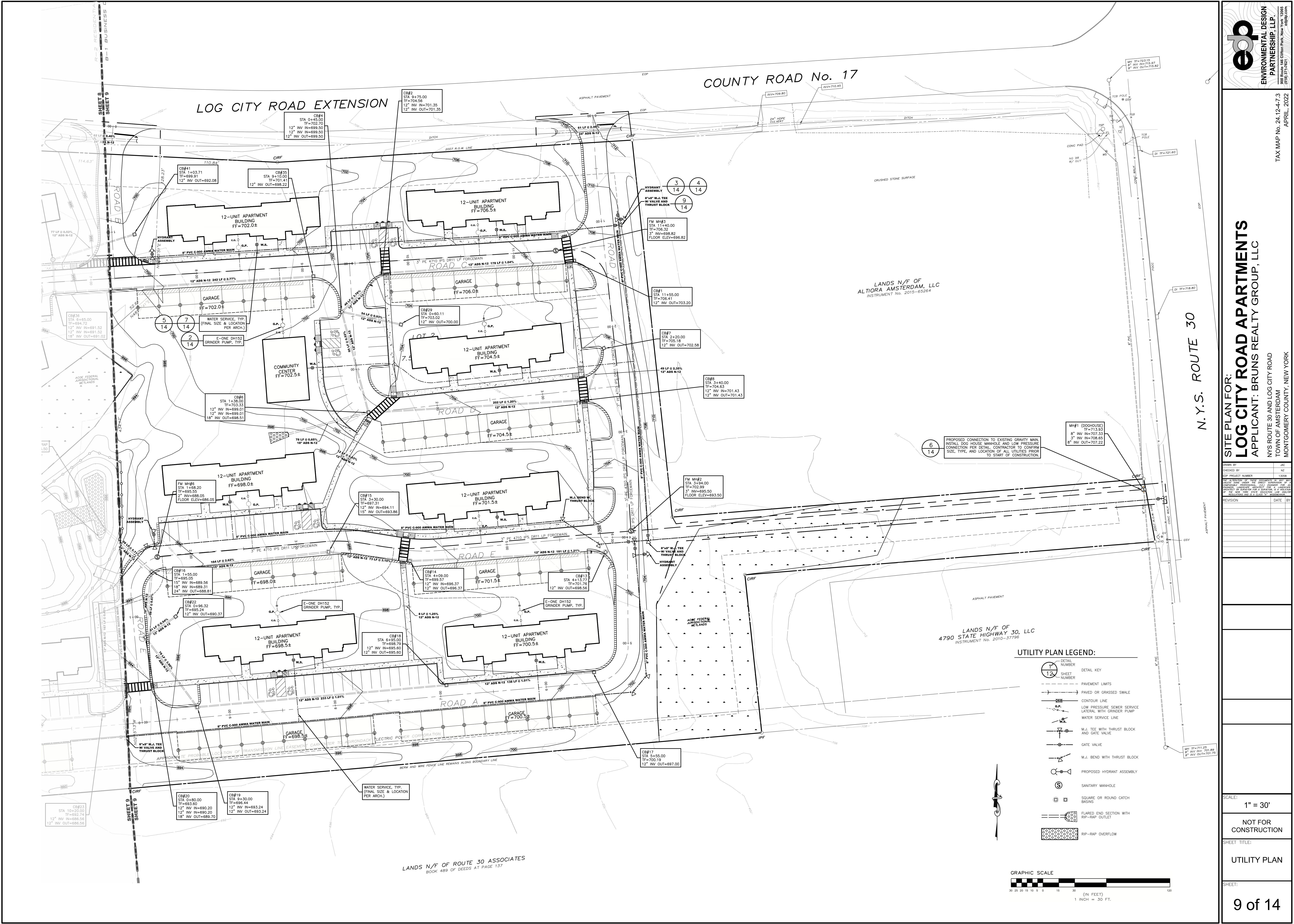
SHEET TITLE: SITE PLAN

SHEET: 5 of 14

	DETAIL NUMBER SHEET NUMBER	DETAIL KEY
	PAVEMENT LIMITS	
	PAVED OR GRASSED SWALE	
	CONTOUR LINE	
	SQUARE OR ROUND CATCH BASINS	
	FLARED END SECTION WITH RIP-RAP OUTLET	
	RIP-RAP OVERFLOW	
	SPOT ELEVATION	
	SANITARY MANHOLE	
	FIRE HYDRANT	
	PARKING, TRAFFIC OR STORMWATER MANAGEMENT SIGN WITH FLAG	
	STORMWATER MANAGEMENT SIGN	

WETLAND DISTURBANCE	
WETLAND AREA	TOTAL DISTURBANCE (SF)
1	1,130±
2	4,400±





SITE PLAN FOR:
LOG CITY ROAD APARTMENTS
APPLICANT: BRUNS REALTY GROUP, LLC
NYS ROUTE 30 AND LOG CITY ROAD
TOWN OF AMSTERDAM
MONTGOMERY COUNTY, NEW YORK

DESIGNED BY	NO	DATE
CHECKED BY	NO	DATE
PROJECT NUMBER	12024	

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REVISION	DATE	BY

COUNTY ROAD No. 17

LOG CITY ROAD EXTENSION

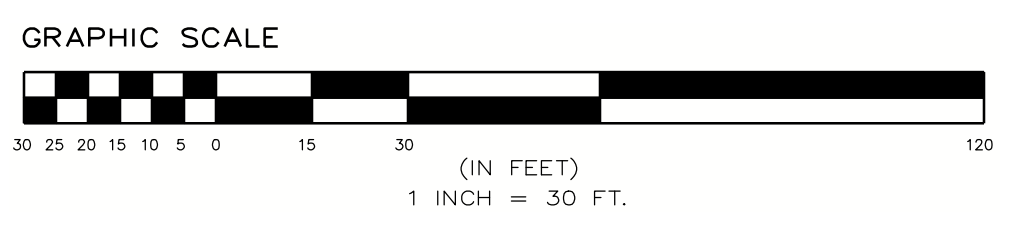
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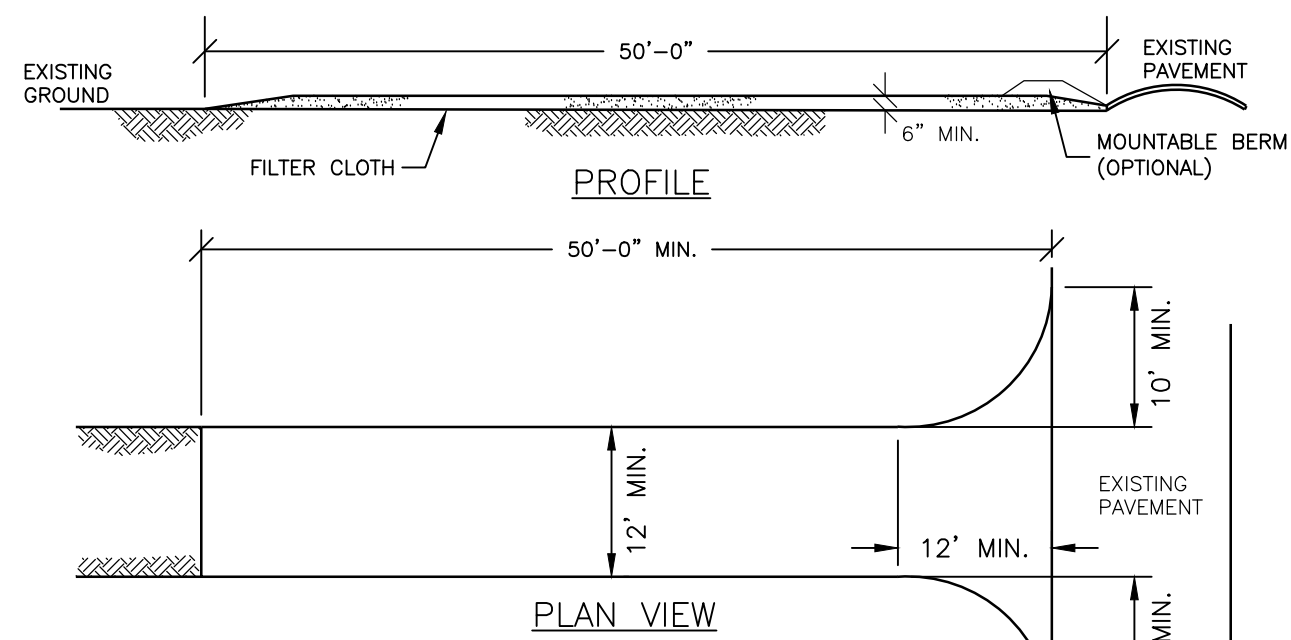
LANDS N/F OF
4790 STATE HIGHWAY 30, LLC
INSTRUMENT No. 2010-37796

LANDS N/F OF ROUTE 30 ASSOCIATES
BOOK 489 OF DEEDS AT PAGE 137

UTILITY PLAN LEGEND:

- 12 DETAIL NUMBER
- 12 SHEET NUMBER
- PAVEMENT LIMITS
- PAVED OR GRASSED SWALE
- CONTOUR LINE
- LOW PRESSURE SEWER SERVICE LATERAL WITH GRINDER PUMP
- WATER SERVICE LINE
- M.J. TEE WITH THRUST BLOCK AND GATE VALVE
- GATE VALVE
- M.J. BEND WITH THRUST BLOCK
- PROPOSED HYDRANT ASSEMBLY
- SANITARY MANHOLE
- SQUARE OR ROUND CATCH BASINS
- FLARED END SECTION WITH RIP-RAP OUTLET
- RIP-RAP OVERFLOW



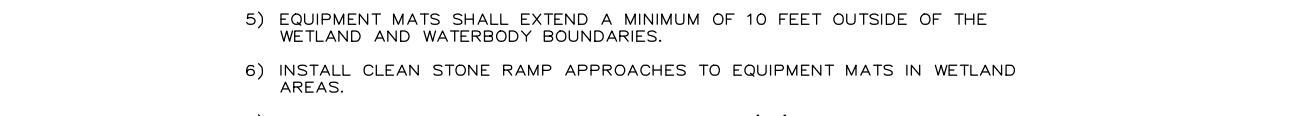
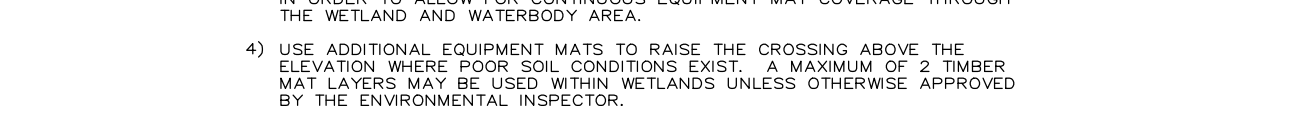
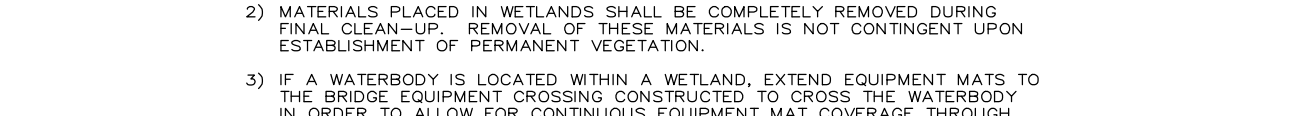
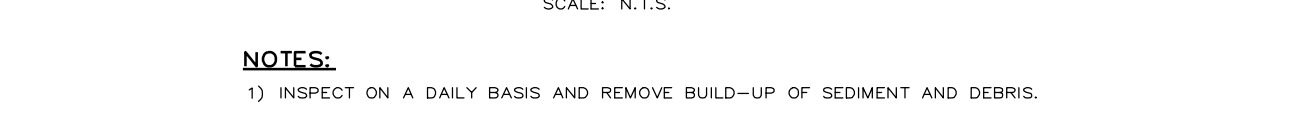
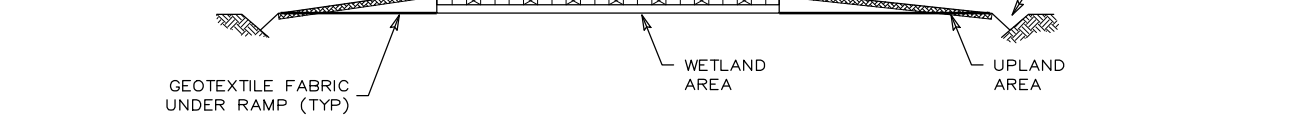
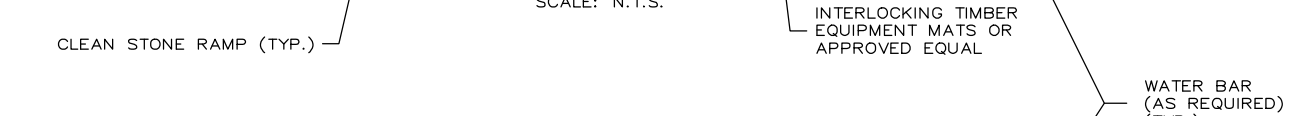
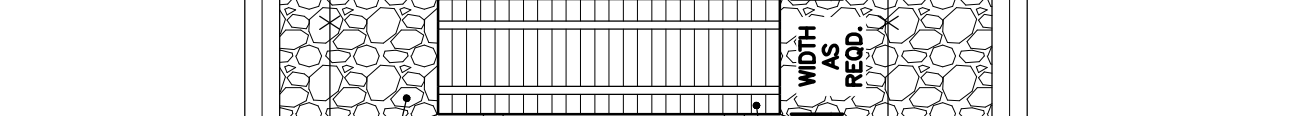
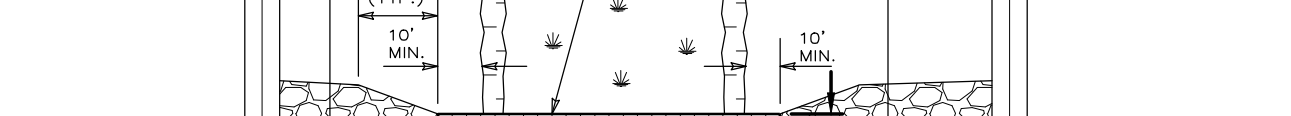
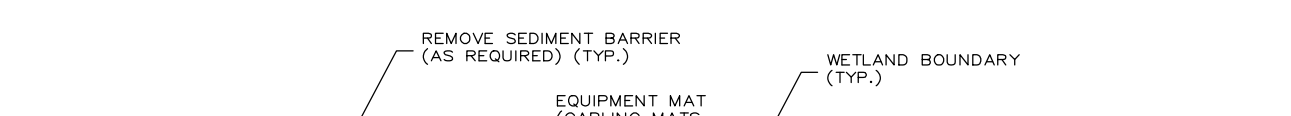
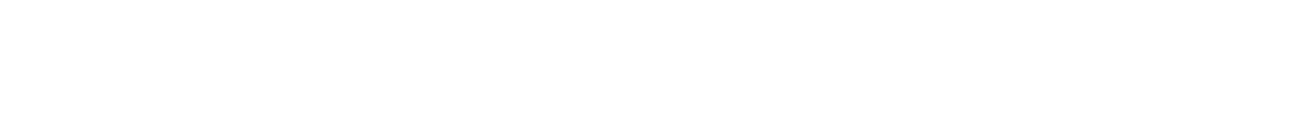
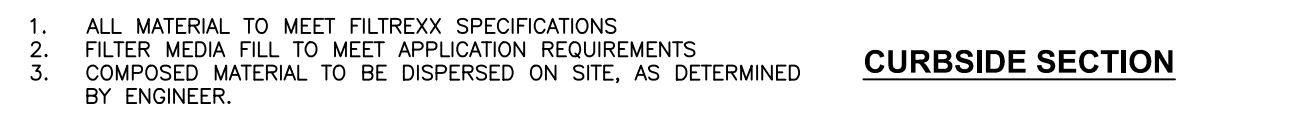
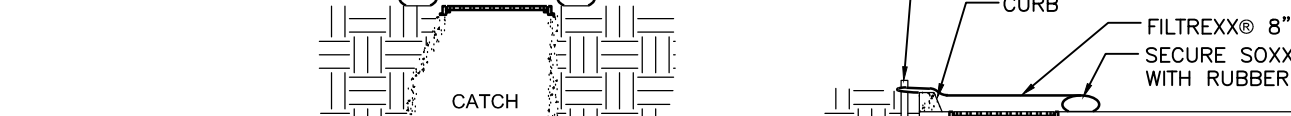
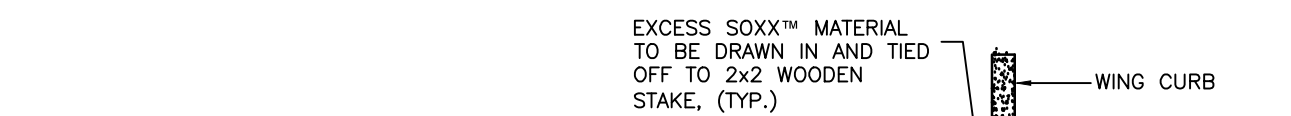


CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" CRUSHED STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS EFFECTIVE BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN SIX(6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE, ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL BOARDS OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1 STABILIZED CONSTRUCTION ENTRANCE

10 NOT TO SCALE

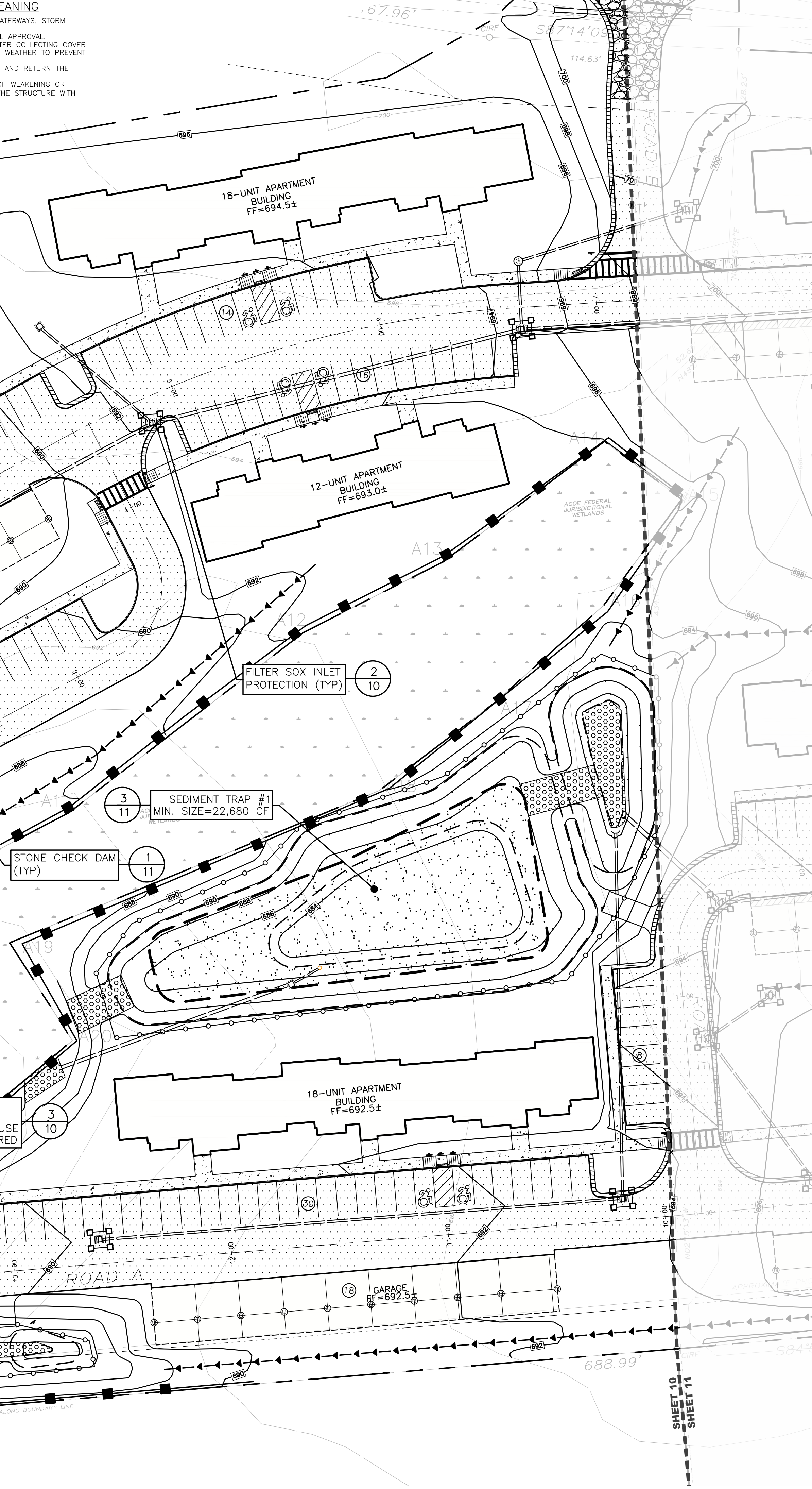
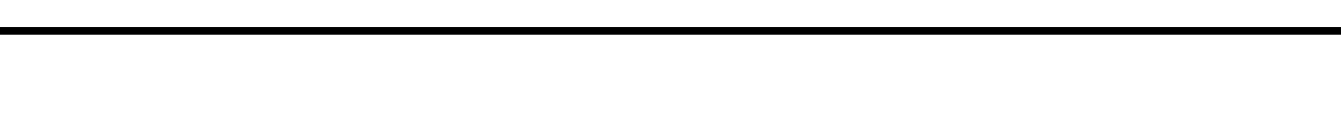
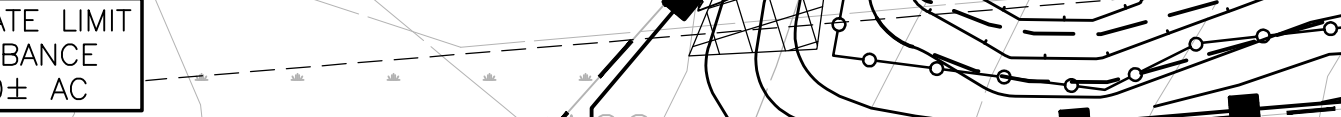
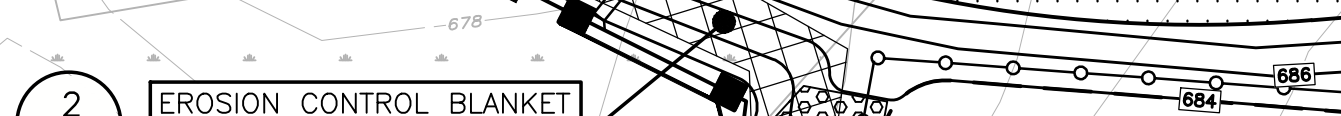
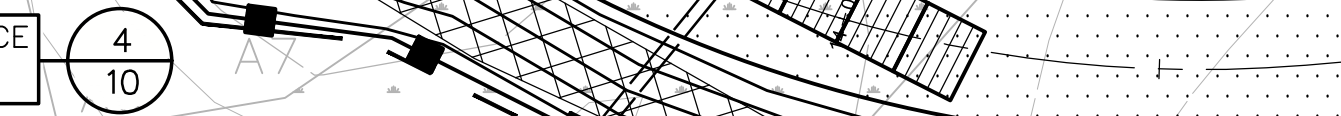
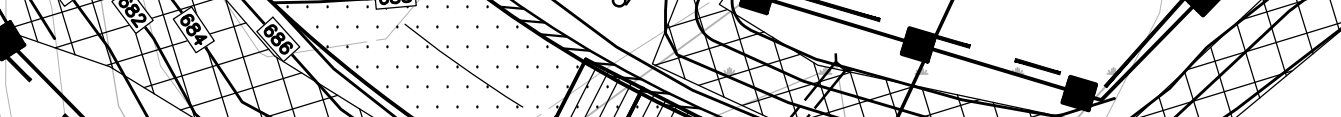
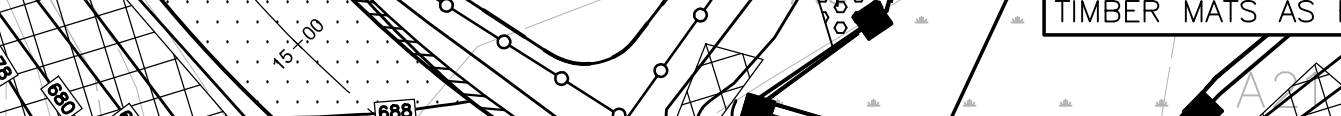
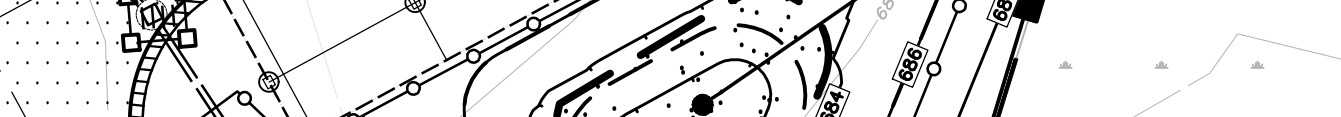
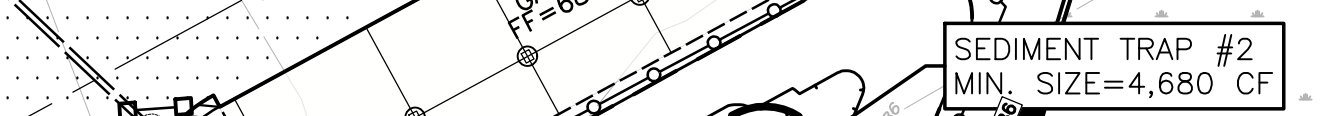
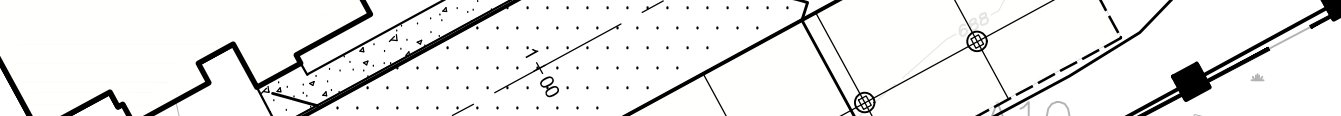
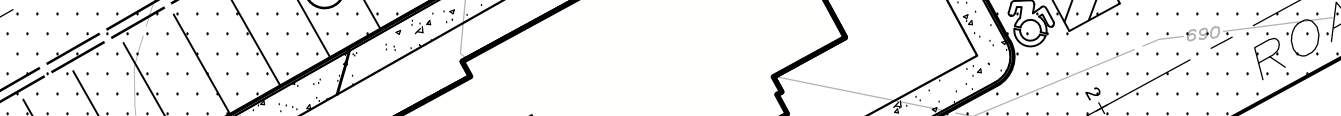
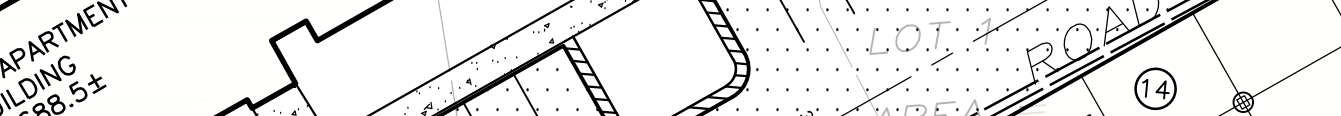
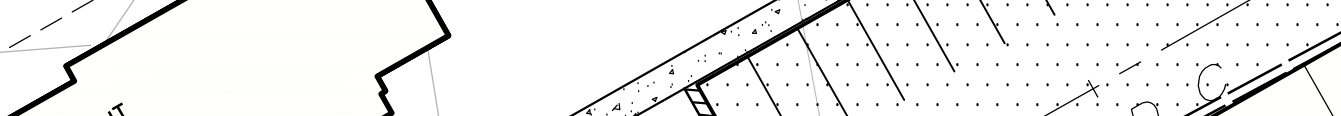
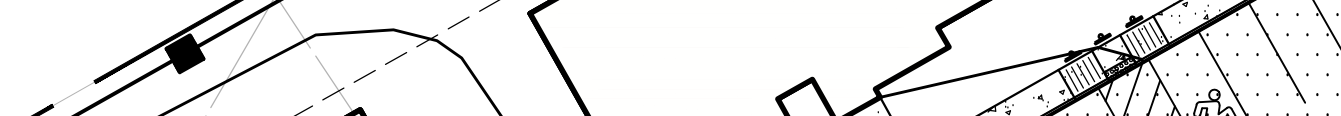
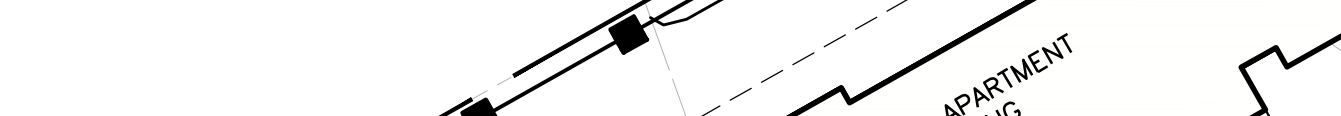
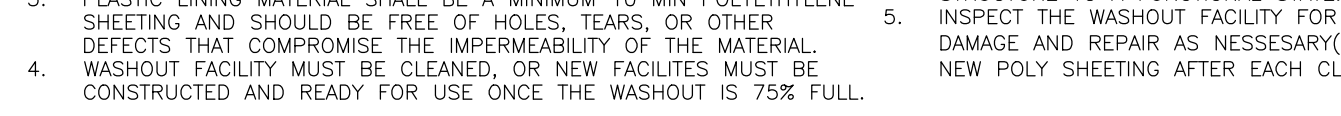
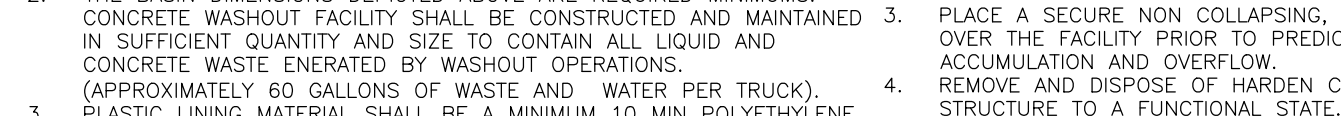
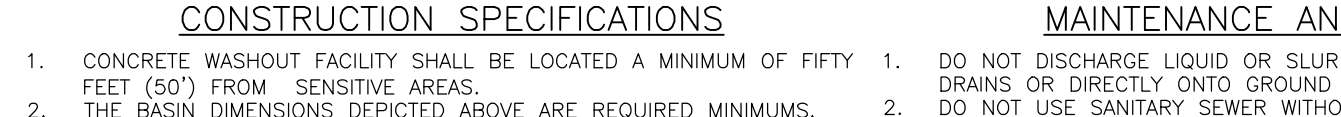
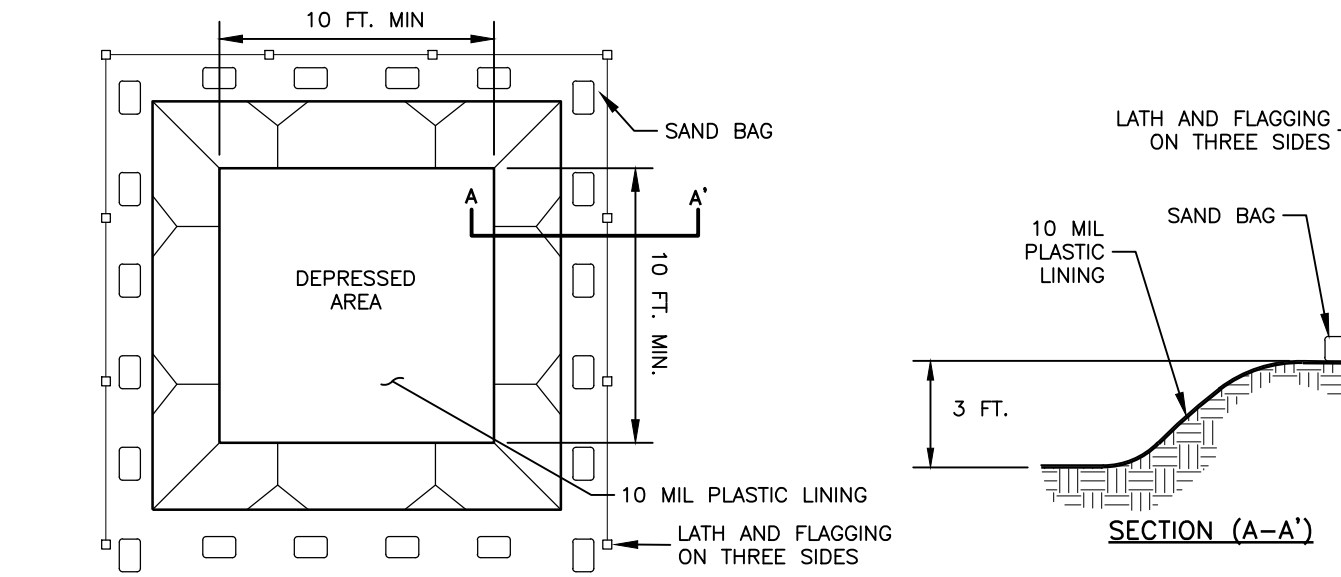
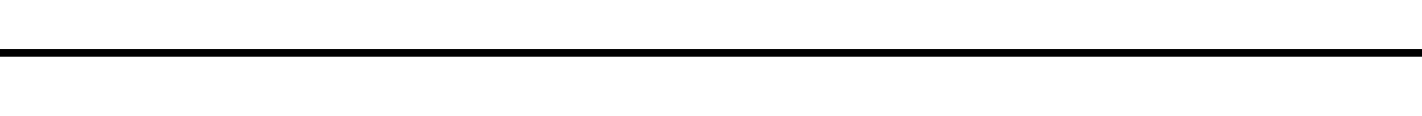
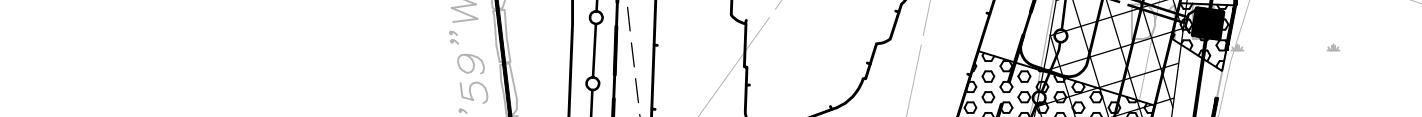
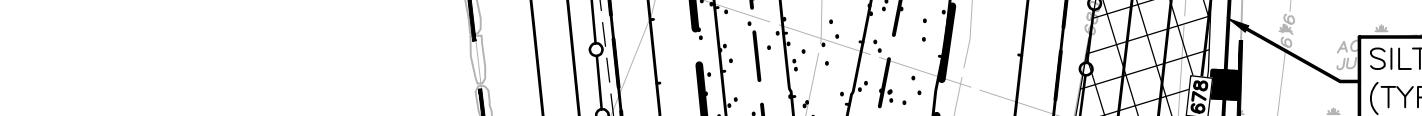
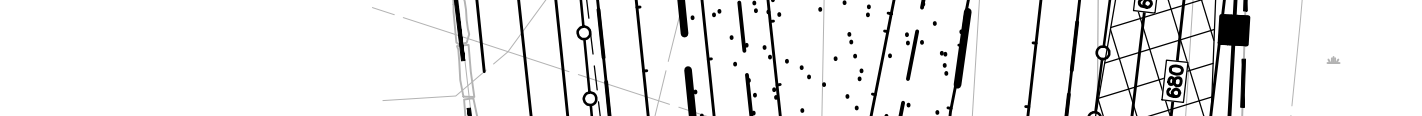
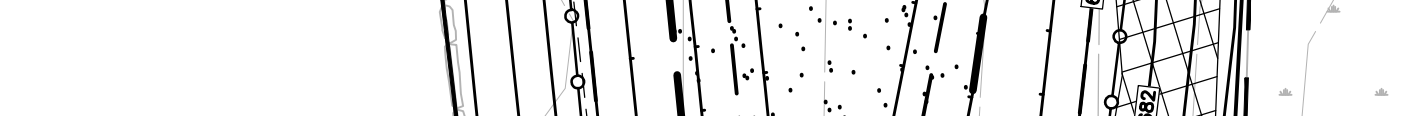
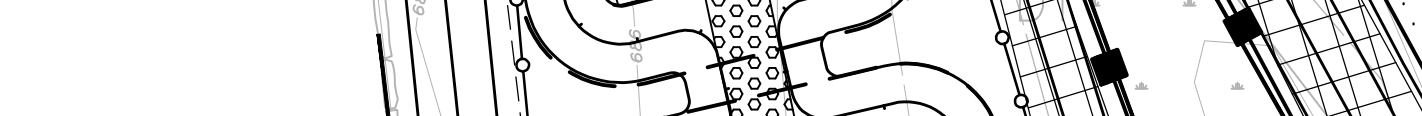
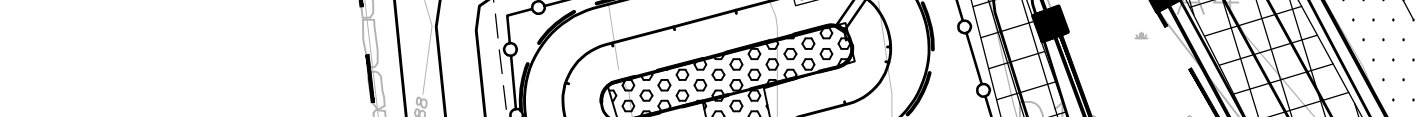
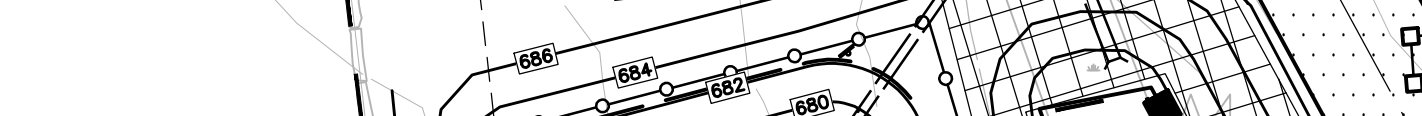
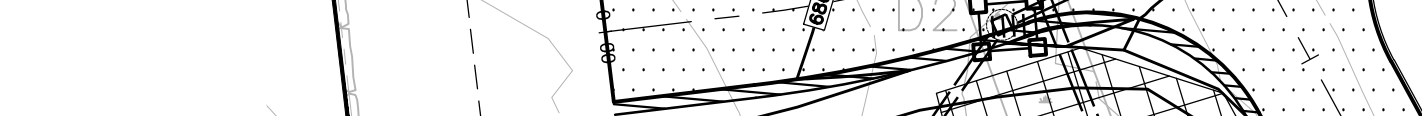
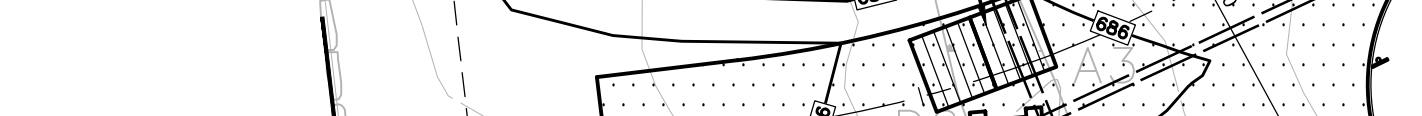
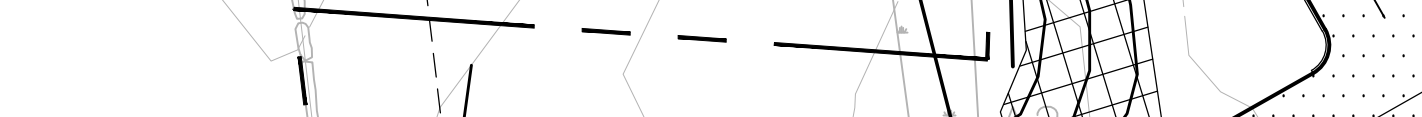
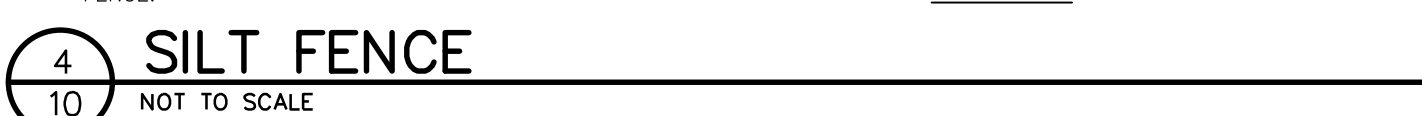
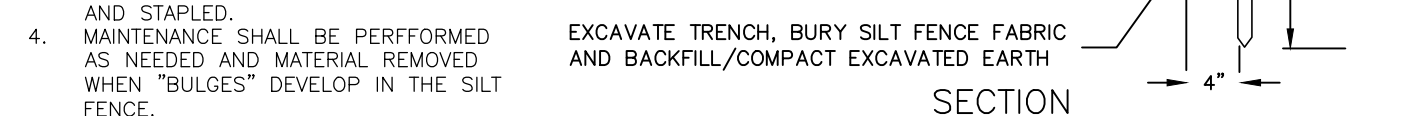
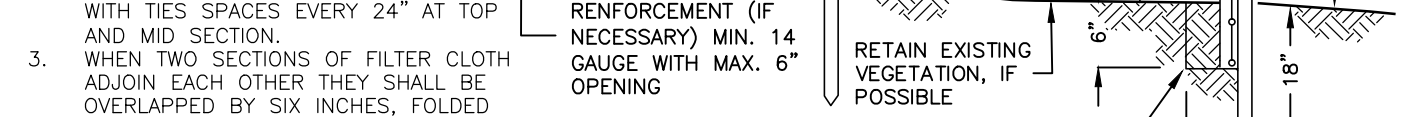
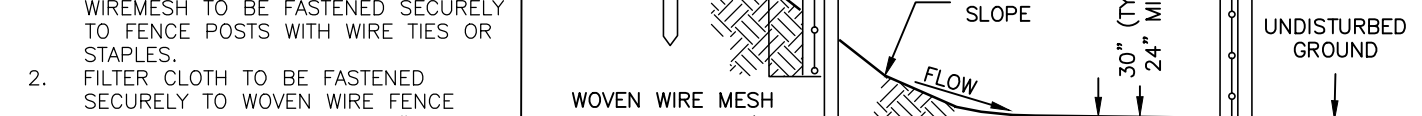
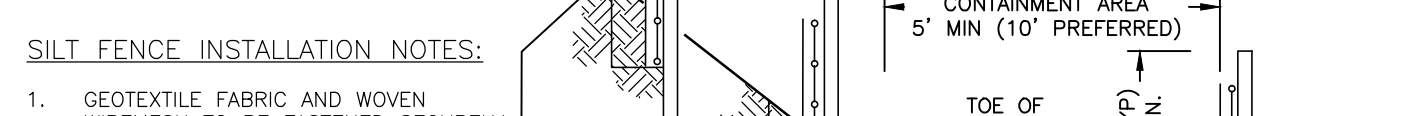
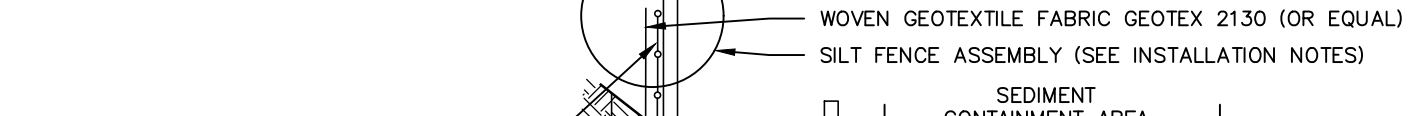
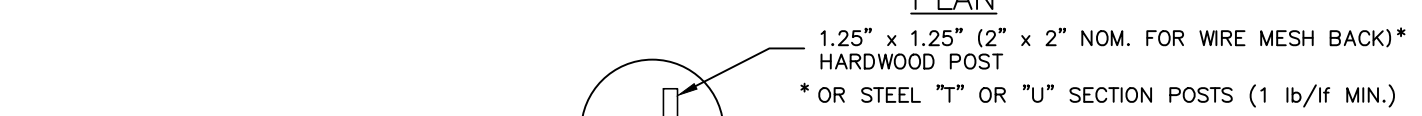
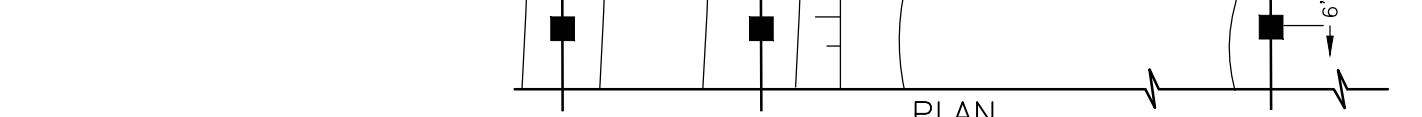
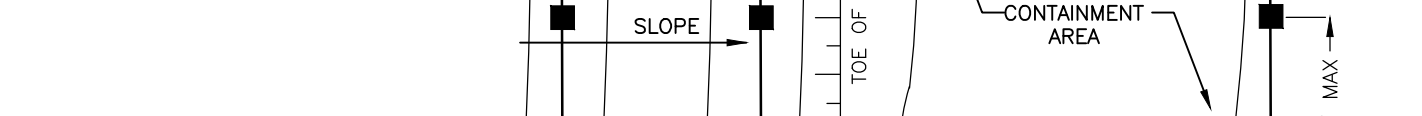


SILT FENCE GENERAL NOTES:

- SILT FENCE SHALL BE PLACED A MINIMUM OF 5 FT. FROM TOE OF SLOPE, 10 FT. PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
- POSTS MAY BE 1.25"x1.25" (MINIMUM) HARDWOOD, TYPICALLY, FOR WIRE MESH BACK USE 2"x2" NOM. HARDWOOD, OR STEEL 1" OR 1.5" POSTS (10-14" DIA). SILT FENCE SHALL BE WOVEN GEOTEXTILE FABRIC(GEOTEX 2130 OR EQUAL).
- SILT FENCE ASSEMBLIES MAY HAVE 4 FT. OR 6 FT. POST SPACING, AND MAY OR MAY NOT HAVE WIRE REINFORCEMENT. SENSITIVE AREAS TO BE PROTECTED MAY NEED TO BE REINFORCED BY USING HEAVY WIRE FENCING FOR ADDED SUPPORT TO PREVENT COLLAPSE.
- THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 6" BELOW GROUND. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC.
- MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SILT FENCE PLACED ON A SLOPE ARE:

SLOPE	MAXIMUM LENGTH (FT.)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

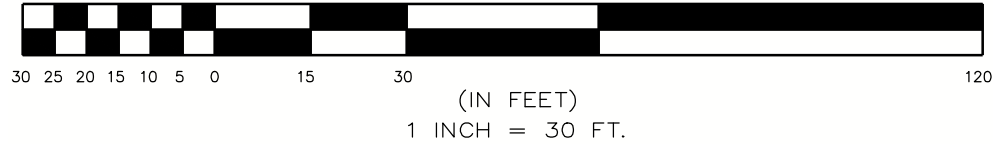
- MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1 ACRE PER 100 FEET OF FENCE, WITH MAXIMUM PONDING DEPTH OF 1.5 FEET BEHIND THE FENCE, AND EROSION WOULD OCCUR IN THE FORM OF SHEET EROSION, AND THERE IS NO CONCENTRATION OF WATER FLOWING TO THE BARRIER.
- MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AFTER EACH RAINFALL OF .5" OR MORE WITHIN A 12 HOUR PERIOD, OR ONLY DURING PROLONGED RAINFALL. MEASURES SHALL BE CLEANED AND REPAIRED AS REQUIRED.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-THIRD OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.

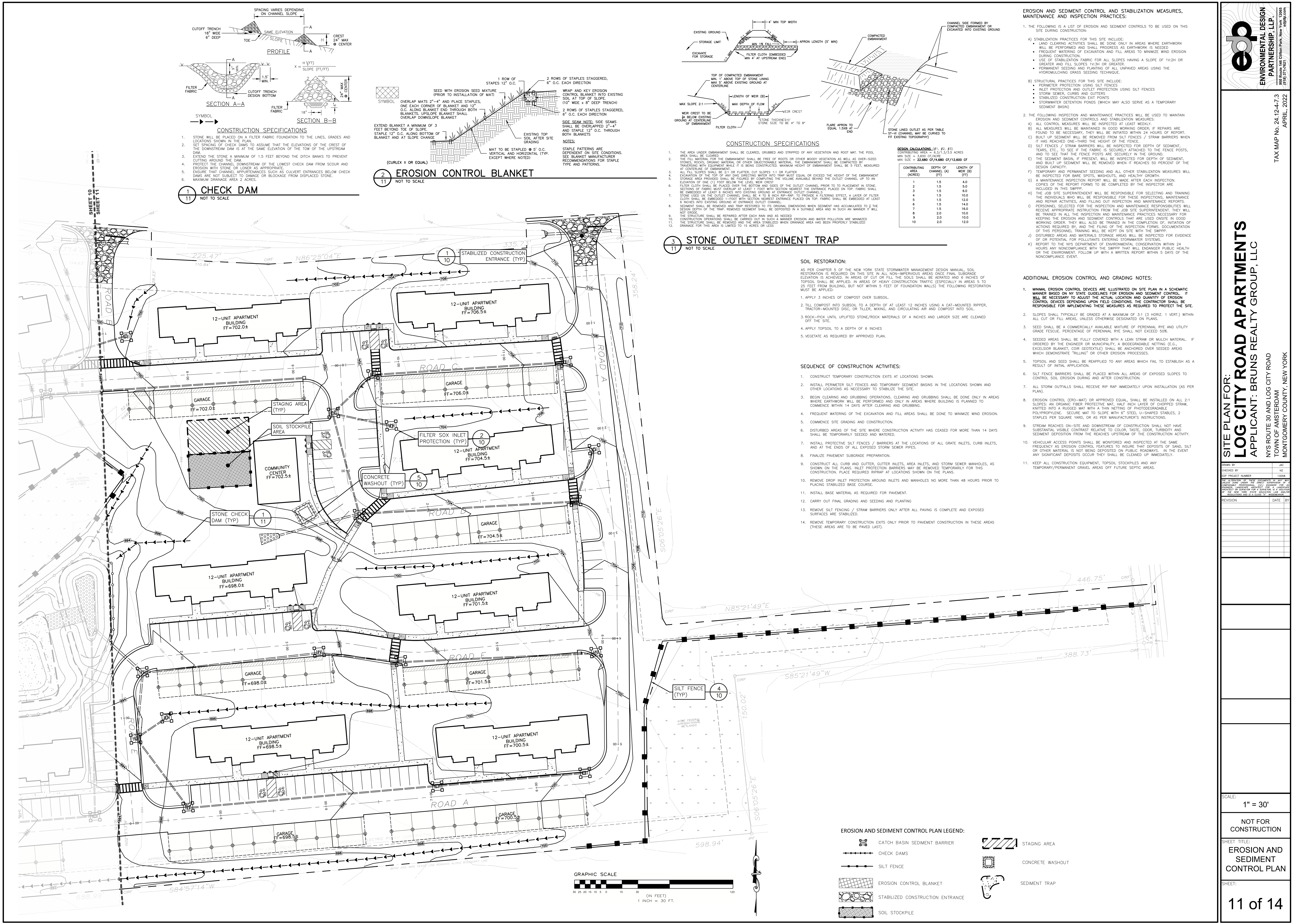


EROSION AND SEDIMENT CONTROL PLAN LEGEND:

- CATCH BASIN SEDIMENT BARRIER
- CHECK DAMS
- SILT FENCE
- EROSION CONTROL BLANKET
- STABILIZED CONSTRUCTION ENTRANCE
- SOIL STOCKPILE
- STAGING AREA
- CONCRETE WASHOUT
- SEDIMENT TRAP

GRAPHIC SCALE





GENERAL NOTES:

THE ENVIRONMENTAL DESIGN PARTNERSHIP IS NOT RESPONSIBLE FOR ANY CONSTRUCTION WORK PERFORMED PRIOR TO FINAL APPROVAL OF ALL PLANS AND SECURING OF ALL PERMITS AND FILING OF ALL MAPS.

CONTRACTOR TO ARRANGE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL DESIGN PARTNERSHIP AND MUNICIPALITY PRIOR TO CONSTRUCTION.

FIELD ADJUSTMENTS MUST BE APPROVED BY THE ENVIRONMENTAL DESIGN PARTNERSHIP AND THE MUNICIPALITY'S ENGINEER PRIOR TO CONSTRUCTION.

CONTRACTOR IS TO VERIFY THAT ALL NECESSARY WORK PERMITS AND EASEMENTS ARE IN PLACE PRIOR TO COMMENCEMENT OF WORK.

THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS AND TAKE ALL SPECIAL TEMPORARY AND PERMANENT PRECAUTIONS NECESSARY TO ENSURE A STABLE AND SECURE JOB.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY TOWN, COUNTY OR STATE HIGHWAY CUT PERMITS.

THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND EASEMENTS PRIOR TO CONSTRUCTION AND BECOME FAMILIAR WITH THE CONDITIONS OF EACH PERMIT.

THE CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS, AND DRIVEWAYS.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RIGHT-OF-WAY PROPERTY LINES PRIOR TO CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES SUCH AS GAS, POWER, TELEPHONE, CABLE TV, WATER, SEWER, ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

AS PER NYS INDUSTRIAL CODE 53: CONTRACTOR TO CALL DIO SAFELY NEW YORK, INC. AT 1-800-862-7862 TO LOCATE BURIED CABLES OR OTHER UNDERGROUND UTILITIES NO LESS THAN TWO MORE THAN TEN WORKING DAYS PRIOR TO DIGGING, DRILLING, EXCAVATING, DRIVING POSTS, ETC.

CONTRACTOR MUST VERIFY THE ACCEPTABILITY OF ALL CONSTRUCTION MATERIALS WITH MUNICIPALITY'S ENGINEER PRIOR TO ORDERING.

INSTALLATION AND MATERIAL SPECIFICATIONS FOR STORM SEWER, SANITARY SEWER, WATER SERVICE CONNECTIONS SHALL CONFORM TO THE MUNICIPALITY'S STANDARD DETAILS AND REQUIREMENTS.

CONSTRUCTION PROCEDURES AND MATERIALS MUST BE VERIFIED WITH MUNICIPALITY PRIOR TO CONSTRUCTION.

ANY EXISTING STORM SEWERS AND UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND FOR INFORMATION ONLY. THE CONTRACTOR SHALL HAVE THEIR EXACT LOCATION CHECKED AT THE SITE BEFORE CONSTRUCTION BEGINS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING PIPE INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES WHICH RESULT MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, GRADES, PIPE INVERTS AND ELEVATIONS AND REVIEW WITH CONSULTANT BEFORE CONSTRUCTION.

ALL EXCAVATION TO MEET OSHA AND NYS DOT SAFETY REGULATIONS AND STANDARDS.

THE CONTRACTOR SHALL FILL IN, AND RE-EXCAVATE, AS NECESSARY TO RESUME WORK, ANY EXCAVATIONS OR TRENCHES AT LOCATIONS AND AS OFTEN AS MAY BE REQUIRED TO ENSURE PROTECTION OF THE WORK, ANY ADJACENT EXISTING FACILITIES, OR THE PUBLIC.

THE CONTRACTOR SHALL CLEAN UP THE JOB SITE DAILY BEFORE LEAVING THE JOBSITE. ALL RUBBISH MUST BE CLEANED UP AND CONSTRUCTION EQUIPMENT MUST BE PROPERLY TAKEN CARE OF AND STORED AT THE END OF THE DAY.

CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL AND SAFETY DURING CONSTRUCTION.

THE CONTRACTOR SHALL FURNISH ALL FLAGMEN AND SIGNS, DELINEATORS, BARRIERS, AND DEVICES NECESSARY FOR TRAFFIC CONTROL DURING ANY EARTH-MOVING OPERATION OR OTHER CONSTRUCTION ACTIVITY WHICH INVOLVES PUBLIC HIGHWAYS.

ALL TRAFFIC SIGNS, CONTROL DEVICES, AND INFORMATIONAL ITEMS, IF DISTURBED DURING CONSTRUCTION WITHIN CONTRACT LIMIT LINES, SHALL BE RELOCATED AS PER APPROVAL OF MUNICIPALITY.

RESTORATION OF PAVEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPLACE AND RESTORE PAVEMENT WITH MATERIAL TO A CONDITION EQUAL TO OR BETTER THAN PRECONSTRUCTION CONDITIONS. ALL PAVEMENT AND RIGHT-OF-WAY RESTORATION WORK TO BE DONE TO THE SATISFACTION OF THE STATE, COUNTY OR LOCAL MUNICIPAL HIGHWAY DEPARTMENT.

CONTRACTOR SHALL RESTORE ALL LAWS, DRIVEWAYS, WALKS, WALKS, CURBS, FENCES, ETC. TO A SATISFACTION AT LEAST AS GOOD AS THEY WERE BEFORE BEING DISTURBED.

BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAIN OR NEAR THEM. SHRUBS AND HEDGES THAT MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED OR REPLANTED AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED ITEMS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

POSTS, MALBOCKS, ETC. SHALL BE PROTECTED, OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. DAMAGED ITEMS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

IF IT MAY BE NECESSARY TO THE OR HOLD BACK UTILITY POLES DURING CONSTRUCTION. THIS SHOULD BE ACCOMPLISHED IN COOPERATION WITH UTILITY COMPANIES.

NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENTS OR R.O.W. AS SHOWN.

CONTRACTOR TO COMPLY WITH ALL OSHA AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION (PROPER SHORING, ETC.).

SIDE SLOPES GREATER THAN 1:3 WILL REQUIRE GUOTE BUILT (1-FOOT VERTICAL, 3-FOOT HORIZONTAL).

ALL SITE WORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS, WHERE ACCESS OR WORK OUTSIDE OF PROPERTY BOUNDARY IS NECESSARY, THE PERMISSION OF ADJOINING PROPERTY OWNER MUST FIRST BE OBTAINED.

SITE SURVEYOR TO VERIFY ELEVATIONS OF EXISTING ROAD CENTERLINE AND SHOULDER PRIOR TO COMMENCING WORK. CONTRACTOR IS TO CONFIRM THIS WITH SITE SURVEYOR.

WHERE APPROPRIATE SITE LAYOUT AND GRADING WORK SHALL BE COMPLETED BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR. LANDSCAPE ARCHITECT SHALL APPROVE ALL LAYOUT WORK PRIOR TO CONSTRUCTION.

CONTRACTOR TO NOTIFY ENGINEER AFTER ROUGH GRADING IS COMPLETED. FINISH GRADES TO BE ADJUSTED IN THE FIELD AFTER INITIAL GRADING IS COMPLETED. ALL CHANGES IN PROPOSED GRADES TO BE APPROVED BY OWNER AND ENGINEER.

ALL AREAS OF THE SITE WHICH ARE DISTURBED AND NOT PAVED SHALL BE TOPSOILED AND SEEDED.

ALL PHYSICAL FEATURES INCLUDING SIDEWALKS, CURBING, DECKS, LAMPS, STAIRS, ETC. WITHIN FIVE FEET OF ANY BUILDING OR STRUCTURE SHALL BE PROTECTED BY CONSTRUCTION OF PROTECTIVE BARRIERS. ALL PLANS. IT IS NOT THE INTENT OF THESE DOCUMENTS TO ADDRESS SUCH DETAILS, WHICH ARE SHOWN ONLY FOR THE PURPOSE OF CONTINUITY BETWEEN THE SITE PLAN AND THE ARCHITECTURAL PLANS.

PROVISIONS FOR STORMWATER COLLECTION AND DRAINAGE, PERTAINING TO THE ROOF AND TO PHYSICAL FEATURES WITHIN FIVE FEET OF THE EXTERIOR BUILDING WALLS AND CANOPY OVERHANGS ARE THE RESPONSIBILITY OF THE ARCHITECT.

ALL VERTICAL GRADE CHANGES GREATER THAN 30 INCHES SHALL BE PROVIDED WITH SAFETY BARRIERS AS PER BUILDING CODE (FENCES, RAILINGS, ETC. PER OWNER).

PRELIMINARY PAVEMENT AND SIDEWALK DESIGN SPECIFICATIONS ASSUME EXISTING SUBGRADE CONSISTS OF CLEAN, GRANULAR MATERIAL (SAND & GRAVEL) AND THAT THERE IS NO WATER TABLE INTERFERENCE.

PRIOR TO CONSTRUCTION, THE PROJECT OWNER SHALL HAVE THE EXISTING SUBGRADE CONDITIONS EVALUATED BY A GEOTECHNICAL ENGINEER, WHO SHALL DETERMINE FINAL PAVEMENT AND SIDEWALK DESIGN SPECIFICATIONS. THE OWNER ASSUMES ALL RESPONSIBILITY FOR PAVEMENTS AND SIDEWALKS CONSTRUCTED WITHOUT A FINAL DESIGN. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY SUCH INSPECTION SERVICES, IF PERFORMED BY THIS OFFICE, SHALL BE ESTABLISHED BY SEPARATE CONTRACT.

ROADWAYS AND UNDERGROUND UTILITY FILL AREAS SHALL BE CONTROLLED FILLS PREPARED IN GENERAL ACCORDANCE WITH NYSDOT STANDARD SPECIFICATIONS 203, EXCAVATION AND EMBANKMENT.

FILL AREAS SHALL BE STRIPPED OF SOO, TOPSOIL AND UNSUITABLE MATERIAL AND BE MECHANICALLY COMPACTED TO THE SATISFACTION OF THE ENGINEER IN ACCORDANCE WITH NYSDOT 203-3.03.1.

FILLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NYSDOT 230-3.03.8, EMBANKMENTS. COMPACTION AND LIFT THICKNESS SHALL BE IN ACCORDANCE WITH NYSDOT 230-3.03.3. UNDERWATER AREAS SHALL BE FILLED WITH SELECT GRANULAR FILL.

CONTROLLED FILL SHALL BE WITH SELECT GRANULAR MATERIAL WITH GRADATION: 100% PASSING #4, 5% 10% PASSING #40 AND 1% 2% PASSING #100. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" LOOSE THICKNESS AND SHALL BE MECHANICALLY COMPACTED TO 95% MINIMUM OF THE MAXIMUM ASTM SPECIFICATION DENSITY (MODIFIED PROCTOR). ALL CONTROLLED FILL SHALL BE FREE OF ORGANIC CLODS AND/OR FROZEN MATERIALS.

EMBANKMENT SUBGRADE AREA (TWO FEET BELOW SUBGRADE ELEVATION) SHALL BE CONSTRUCTED IN ACCORDANCE WITH NYSDOT 230-2.02.8, SELECT BORROW AND SELECT FILL, COMPACTED PER 203-3.03.3.

ALL AREAS OF THE SUBGRADE SURFACE WITHIN THE ROADWAY OR OTHER PAVEMENT AREA LIMITS SHALL BE PROOF-ROLLED WITH UNSTABLE AREAS CORRECTED TO THE SATISFACTION OF THE ENGINEER. PRIOR TO THE PLACEMENT OF SUBBASE MATERIALS, BOTH EMBANKMENT AND CUT AREAS, IN ACCORDANCE WITH NYSDOT 203-3.03.3 & 203-3.02.2.

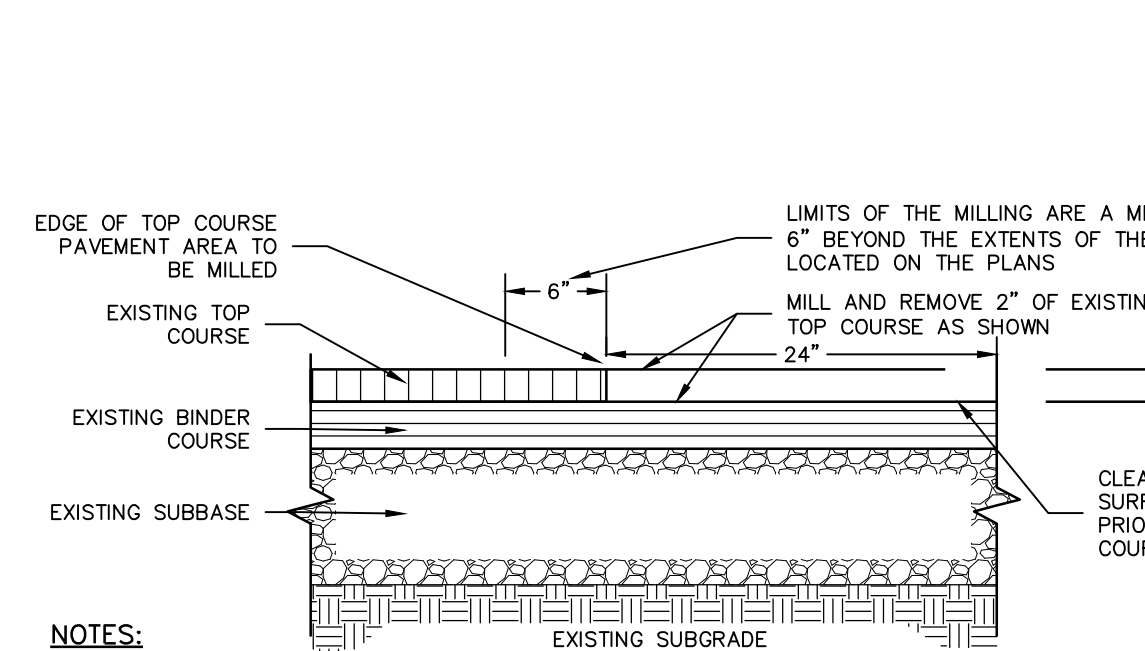
FILL SPECIFICATIONS ARE CONSIDERED MINIMAL AND ARE SUBJECT TO CHANGE UPON DISCOVERY OF UNFAVORABLE SITE SOIL CONDITIONS AND/OR BY A GEOTECHNICAL ENGINEER RETAINED BY THE OWNER/ DEVELOPER.

SPECIFICATIONS FOR STREET/SITE LIGHTING ARE PER TOWN REQUIREMENTS/QUALIFIED PHOTOMETRIC ENGINEER RETAINED BY OWNER.

ALL GRAVITY SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC SDR-26 HEAVY WALL SEWER PER ASTM D3034, 115 PSI MINIMUM PIPE STIFFNESS FOR BURIAL DEPTHS UP TO 20 FEET.

PRIOR TO COMMENCEMENT OF STORM AND/OR SANITARY SEWER CONSTRUCTION, CONTRACTOR IS TO VERIFY BOTH HORIZONTAL AND VERTICAL POSITION OF EXISTING SEWER AT THE CONNECTION POINT. CONTRACTOR IS TO CONSTRUCT GRAVITY LINES PROGRESSIVELY FROM DOWNSTREAM TO UPSTREAM. ANY EXCEPTIONS TO THIS MUST BE APPROVED BY THE ENGINEER. ANY GRADE DISCREPANCIES MUST BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

DEFLECTION TESTING SHALL BE PERFORMED ON ALL FLEXIBLE GRAVITY SEWER PIPE IN ACCORDANCE WITH 10 STATE STANDARDS. TESTS SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. ANY PIPE WHICH HAS A DEFLECTION GREATER THAN 2% SHALL BE EXCAVATED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.



1. CLEAN EXISTING PAVEMENT SURFACE OF LOOSE AND DELETERIOUS MATERIAL IMMEDIATELY BEFORE COLD MILLING.
2. KEEP MILLED PAVEMENT SURFACE FREE OF LOOSE MATERIAL AND DUST.
3. REPAIR OR REPLACE CURBS, MANHOLES AND OTHER CONSTRUCTION DAMAGED DURING MILLING.
4. PATCH SURFACE DEPRESSIONS DEEPER THAN 1 INCH AFTER MILLING, BEFORE TOP COURSE IS LAID.
5. ALL CRACKS LARGER THAN 1/4" WIDE TO BE REPAIRED PER CRACK PATCH DETAIL.
6. DO NOT ALLOW MILLED MATERIALS TO ACCUMULATE ON-SITE.
7. ANY JOINTS IN BINDER COURSE SHALL REVEAL 24" WIDE SELF ADHESIVE GEO-COMPOSITE PAVE PREP (OR APPROVED EQUAL) CENTERED OVER BINDER SEAM.

1 PAVEMENT MILLING AND RESTORATION

ALL GRAVITY SEWERS SHALL HAVE CONTINUOUS STRAIGHT HORIZONTAL & VERTICAL ALIGNMENT (LINE & GRADE) BETWEEN MANHOLES PER NYSDOT REQUIREMENTS AND TEN STATES STANDARDS. CONSTRUCTION OF GRAVITY SEWERS SHALL BE PERFORMED USING A PIPE LASER, WITH ADEQUATE DOWNER VENTILATION, TO ENSURE STRAIGHT ALIGNMENT. ANY EXCEPTIONS THIS MUST BE APPROVED BY THE ENGINEER. ALIGNMENT SHALL BE VERIFIED BY LAUNCHING DURING THE CCTV INSPECTION AND AFTER WORK HAS BEEN COMPLETED BACKFILLED AND COMPACTED.

SLOPE OF SANITARY SEWER THROUGH MANHOLE STRUCTURE IS DETERMINED BY THE INCOMING PIPE. IN NO CASE, SHALL THE SLOPE THROUGH THE MANHOLE STRUCTURES BE LESS THAN 1%.

THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL SANITARY MANHOLES SUCH THAT THEY DO NOT INFILTRATE AND ARE INTERFERED BOTH BY VACUUM TESTING IN ACCORDANCE WITH ASTM C1244-05 PRIOR TO BACKFILLING AND VISUALLY THEREAFTER. ALL PIPES SHALL BE PLUGGED, BRACED, AND/OR BLOCKED TO PREVENT INFILTRATION DURING VACUUM TESTING. THE CONTRACTOR SHALL MAKE ALL MATERIAL REPLACEMENTS AND/OR REPAIRS TO ACCOMPLISH THIS.

LOW-PRESSURE AIR EXFILTRATION TESTING SHALL BE PERFORMED ON ALL GRAVITY SANITARY SEWER PRIOR TO FINAL APPROVAL, SUCH AS THE TIME-PRESSURE DROP METHOD PER IN ASTM F1417-11A (2011), UN-BELL PVC PIPE ASSOCIATION, STANDARD UN-BELL, AND SUMMARIZED IN UN-BELL HANDBOOK OF PVC PIPE, SECOND PRINTING WINTER 2005, PAGES 457, 458 AND SPECIFICATION TIMES FOR 0.5 PSI PRESSURE DROP FOR SIZES AND LENGTHS OF PIPE IN TABLE 10.12, PAGE 460. ALL SEWER PIPE ENDS SHALL BE BRACED AND/OR BLOCKED INSIDE EACH MANHOLE AND AT EACH LATERAL END TO PREVENT DISLODGE OF THE PIPE.

PRESSURE SEWER MAIN PIPE SHALL BE: PR 200 PSI MIN. WHITE OR GREEN COLORED (NOT BLUE) PVC SDR-21H, PE 4710 DIPS DR-11 (PR 200 PSI) GREEN STRIPS, LOW-PRESSURE SEWER SEWER PIPE SHALL BE: PR 200 PSI MIN. DASKETED (1-1/2" MIN.) PVC SDR-21H, PE 4710 GREEN-SHELL OR GREEN STRIPS (PE ASTM D3035) DR-11 OR CTS SDR-8 (ASTM D2733) UPPOSED -3-INCH OR AS NOTED ON THE PLANS. EXCEPTION: PVC IS NOT ALLOWED TO BE USED ON SARATOGA COUNTY SEWER DISTRICT NO. 1 PERMITTED PROJECTS.

ALL PRESSURE SANITARY SEWER PIPE SHALL BE BURIED WITH TRACER WIRE SECURED TO THE PIPE WITH GORILLA TAPE. TRACER WIRE SHALL BE 12 AWG, SINGLE CONDUCTOR, HIGH STRENGTH, FLEXIBLE, STRANDED STAINLESS STEEL, WITH HAMPE GREEN-COLORED INSULATION SUCH AS #10 AS MANUFACTURED BY KRIS-TECH WIRE CO. MAIN BRANCHES AND SERVICE CONNECTIONS SHALL BE MADE WITHOUT CUTTING THE MAIN WIRE, USING 3-WAY DIRECT-BURY LUGS WITH SILICONE GEL ENCAPSULATION. SPIRES AT ROLL ENDS SHALL BE MECHANICALLY AND ELECTRICALLY FASTENED BY TYING WIRE IN A KNOT AND CONNECTING EXPOSED CONDUCTORS IN SILICONE GEL TWIST ENCAPSULATORS. DIRECT-BURY TRACER WIRE CONNECTORS SUCH AS DRYCON CONNECTORS BY COPPERHEAD INDUSTRIES, LLC. TRACER WIRE SHALL BE BROUGHT UP 12" MIN. ABOVE GRADE ON THE OUTSIDE OF ALL GATE & CURB BOXES.

ALL SEWER PIPE SHALL HAVE 6-INCH WIDE, GREEN-COLORED PLASTIC SEWER UTILITY I.D. MARKING TAPE BURIED ON TOP OF THE COMPACTED INITIAL PIPE BACKFILL, 12" MIN. ABOVE THE PIPE.

SANITARY SEWER SEWERS, BOTH FORCE MAINS AND SERVICES, SHALL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH WATER MAIN LEAKAGE TESTING STANDARDS, AT MINIMUM 120 PSIG AS MEASURED AT THE LOWEST POINT OF THE LINE(BEING TESTED, 150 PSIG WHERE ANY POTABLE WELL IS, OR IS LIKELY TO BE, WITHIN 50 FEET OF FORCE MAIN. AWWA: C600-17, FOR DUCTILE IRON PIPE, MANUAL M20 FOR PVC, AND MANUAL M25 FOR PE.

NEW GRAVITY SANITARY SEWER WORKS SHALL BE CLEANED WITH WATER JET AND VACUUM FLUSHING/COLLECTION EQUIPMENT PRIOR TO CCTV INSPECTION AND REPEATED AS NECESSARY UNTIL CLEAN, WITH ALL SOLIDS REMOVED. ALL DEBRIS SHALL BE VACUUMED OUT DURING FLUSHING OPERATIONS AND DISPOSED OF OFF SITE.

NEW GRAVITY SANITARY SEWER WORKS SHALL BE INSPECTED FOR DEFECTS BY CLOSURE-ORCUT TUBES. REPAIR WORK SHALL BE COMPLETED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT THREE SETS OF RECORD DIGITAL VIDEO FILMS AND WRITTEN INSPECTION REPORTS TO BE FURNISHED TO THE ENGINEER.

ALL DISCERNABLE GRAVITY SEWER DIPS (DEVIATIONS FROM CONTINUOUS POSITIVE VERTICAL ALIGNMENT) IN EXCESS OF 1/4" ESTIMATE OR ACTUAL DEPTH AND/OR DIPS GREATER THAN 3'-1" IN LENGTH SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.

WATER AND SEWER SEPARATION REQUIREMENTS: MINIMUM 18 INCHES VERTICAL SEPARATION IS REQUIRED BETWEEN WATER MAINS AND ANY EXISTING OR PROPOSED SANITARY AND STORM SEWER AT ALL CROSSINGS, MEASURED OUTSIDE TO OUTSIDE OF PIPES, WITH CONTS EQUIDISTANT FROM CROSSING POINT, PER NY STATE HEALTH DEPARTMENT REQUIREMENTS. PARALLEL LINES MUST BE SEPARATED A MIN. OF 10 FEET.

WHERE MINIMUM SEPARATIONS CANNOT BE MET, WITH CASE-BY-CASE-APPROVAL FROM NYS DOH: MIN NEWERS SHALL BE CONSTRUCTED OF MIN. PR 150 PSI AWWA WATER GRADE MATERIALS AND SHALL BE PRESSURE TESTED TO ENSURE WATER TIGHTNESS.

LESS THAN 10 FT. SEPARATION ONLY IF WATER MAIN IS LAID IN A SEPARATION TRENCH OR ON AN EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18" ABOVE THE TOP OF THE GRAVITY SEWER.

WHERE FORCE MAINS AND GRAVITY SEWERS ARE TO CROSS, THE WATER MAIN SHALL BE INSTALLED TO A PROTECTIVE CASING PIPE, CONSTRUCTED OF MIN. PR 150 PSI AWWA WATER GRADE MATERIALS, AND EXTEND 10 FT. MIN. ON BOTH SIDES OF THE SEWER BEING CROSSED OR, WHERE PARALLEL, TO A POINT WHERE THE LINES ARE SEPARATED BY 10 FT.

WHERE A WATER MAIN AND/OR WATER MAINS ARE TO CROSS, A POINT WHERE THE LINES ARE SEPARATED BY 10 FT. TO A POINT WHERE THE ENDS OF THE CASING PIPE ARE 150 FT. MIN. FROM ANY WATER WELL.

CONTRACTOR TO VERIFY THE ELEVATION OF THE EXISTING WATER MAIN, TO AVOID CONFLICTS, PRIOR TO CONSTRUCTING OTHER UTILITIES.

ALL NEW WATER MAIN WORKS ARE TO BE HYDROSTATICALLY TESTED AT 150 PSIG MIN. (AS MEASURED AT THE LOWEST POINT IN ACCORDANCE WITH AWWA STANDARDS: C600-17) FOR DUCTILE IRON PIPE, MANUAL M20 FOR PVC, AND MANUAL M25 FOR PE. RESULTS TO BE SUBMITTED TO MUNICIPAL ENGINEER. MODIFICATIONS TO EXISTING WORKS SHALL BE VISUALLY TESTED FOR LEAKS UNDER NORMAL WORKING PRESSURE PRIOR TO BACKFILL.

ALL WATER MAIN WORKS SHALL BE DISINFECTED AND BACTERIOLOGICALLY TESTED IN ACCORDANCE WITH AWWA STANDARD C651-14 (SEE DISINFECTION PROCEDURE ON WATER DETAIL SHEET). RESULTS TO BE SUBMITTED TO THE MUNICIPAL ENGINEER.

POTABLE WATER MAIN PIPE TO BE: DUCTILE IRON PIPE, CLASS 52 OR S0, BLUE-COLORED PVC OR 18" AWWA C-900, WHITE OR BLUE-COLORED PVC OR RVCV SDR-21, PE 4710 DIPS OR DIPS, DR-11 (PR 200 PSI) BLUESTRIPE AWWA C-906

POTABLE WATER SERVICE TUBING TO BE: MORTAR SET OR THINSET RED CONCRETE PIPERS BY TIE TECH CAST-IN-PLACE, IRON PLATES BY NENAH APPROVED EQUAL.

ALL PLASTIC WATER MAIN AND WATER SERVICE TUBING SHALL BE BURIED WITH TRACER WIRE SECURED TO THE PIPE WITH GORILLA TAPE. BLUE-COLORED #10 BY KRIS-TECH WIRE CO. MAIN BRANCHES AND SERVICE CONNECTIONS SHALL BE MADE WITHOUT CUTTING THE MAIN WIRE, USING 3-WAY DIRECT-BURY LUGS WITH SILICONE GEL ENCAPSULATION. SPIRES AT ROLL ENDS SHALL BE MECHANICALLY AND ELECTRICALLY FASTENED BY TYING WIRE IN A KNOT AND CONNECTING EXPOSED CONDUCTORS IN SILICONE GEL TWIST ENCAPSULATORS. DIRECT-BURY TRACER WIRE CONNECTORS SUCH AS DRYCON CONNECTORS BY COPPERHEAD INDUSTRIES, LLC. TRACER WIRE SHALL BE BROUGHT UP 12" MIN. ABOVE GRADE ON THE OUTSIDE OF ALL HYDRANTS, GATE & CURB BOXES.

ALL WATER PIPE SHALL HAVE 6-INCH WIDE, BLUE-COLORED PLASTIC WATER UTILITY I.D. MARKING TAPE BURIED ON TOP OF THE COMPACTED INITIAL PIPE BACKFILL, 12" MIN. ABOVE THE PIPE.

THRUST BLOCKING TO COMPLY WITH THE MUNICIPAL STANDARDS. THRUST BLOCKS TO BE CAST-IN-PLACE CONCRETE MIN. 3,000 PSI (SEE DETAIL).

ALL STORM SEWER PIPE TO BE DUAL WALL, HIGH-DENSITY POLYETHYLENE WITH SMOOTH INTERIOR AND ANULAR CORRUGATED EXTERIOR. PIPE JOINTS ARE TO BE SILT-TIGHT WITH OTHER INTERNAL GASKETS AND SPIGOT JOINTS WITH RUBBER GASKETS USING ASTM #477, SILT-TIGHT PREMIER BRAND COULERS WITH RUBBER GASKETS OR STANDARD BAND COULERS WRAPPED WITH NON-WOVEN GEOTEXTILE FABRIC #11EET WIDE AND OVERLAPPED AT EACH END. WATERTOFT JOINTS ARE REQUIRED WHERE PE PIPE IS SPECIFIED FOR SAND BASIN INLET PIPE AND FITTINGS.

CATCH BASIN GRATES ARE TO BE BICYCLE SAFE.

THE INFORMATION REPRESENTED WITHIN THESE DOCUMENTS DOES NOT IMPLY ANY CONTRACT WITH OR OBLIGATION FOR, PERFORMING ANY OR ALL TOWN, COUNTY, OR STATE REQUIRED INSPECTIONS DURING THE CONSTRUCTION OR PURSUANT TO OBTAINING CERTIFICATE OF OCCUPANCY. SUCH INSPECTION SERVICES, IF PERFORMED BY THIS OFFICE, SHALL BE ESTABLISHED BY SEPARATE CONTRACT.

IN THE EVENT THAT THE CONSTRUCTION TAKEOUT AND INSPECTION OF THE WORK IS NOT PERFORMED BY THE ENVIRONMENTAL DESIGN PARTNERSHIP (EDP), EDP WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS, OMISSIONS, COSTS, EXPENSES OR LIABILITY OF WHATEVER KIND AND NATURE RESULTING FROM FIELD CHANGES AND/OR ERRORS. THE CLIENT SHALL HAVE HAD AN OPPORTUNITY TO CHECK AND CORRECT WHERE THEY ARE IN A POSITION TO CONTROL THE PROJECT THROUGH TAKEOUT AND INSPECTION.

CLAIMS MADE AGAINST CONSULTANT FOR SURVEY TAKEOUT ERRORS WILL BE HONORED ONLY IF CONSULTANT IS NOTIFIED FOR VERIFICATION OF THE ERROR IMMEDIATELY UPON DISCOVERY OF THE ERROR. IF THE ERROR IS NOT NOTIFIED IMMEDIATELY UPON DISCOVERY, IT IS DETERMINED THAT NO TAKEOUT ERROR OCCURRED. THE CLIENT SHALL REMBURSE THE CONSULTANT FOR ADDITIONAL EXPENSES INCURRED FOR SUCH VERIFICATION.

ALL ERRORS, OMISSIONS AND DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ENVIRONMENTAL DESIGN PARTNERSHIP IMMEDIATELY UPON DISCOVERY. OTHERWISE, THE ENVIRONMENTAL DESIGN PARTNERSHIP WILL ACCEPT NO RESPONSIBILITY.

INSPECTION SERVICES BY THE ENVIRONMENTAL DESIGN PARTNERSHIP ARE NOT SUPERVISORY. ACCORDINGLY, THE ENVIRONMENTAL DESIGN PARTNERSHIP CAN NEITHER GUARANTEE THE PERFORMANCE OF THE CONSTRUCTION CONTRACTOR NOR ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO FURNISH AND PERFORM WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

CONTRACTOR SHALL OBTAIN A PERMIT FROM SARATOGA COUNTY SEWER DISTRICT NO. 1 PRIOR TO CONSTRUCTION OF ANY PROPOSED SANITARY SEWER LINES AND FOLLOW ALL PERMIT PROCEDURES DURING CONSTRUCTION.

THIS PRELIMINARY SIDEWALK DESIGN ASSUMES THAT EXISTING SUBGRADE CONDITIONS CONSIST OF CLEAN GRANULAR MATERIAL (SAND & GRAVEL) AND THAT THERE IS NO WATER TABLE INTERFERENCE. PRIOR TO CONSTRUCTION, THE OWNER SHALL VERIFY THE EXISTING SUBGRADE CONDITIONS USING A GEOTECHNICAL ENGINEERING CONSULTANT, TO DETERMINE THE FINAL PAVEMENT DESIGN.

CONTRACTOR TO SUBMIT JOINT LAYOUT PLAN FOR APPROVAL PRIOR TO CONSTRUCTION.

CURING TO BE DONE USING METHOD A OR B NYSDOT STD. SPECIFICATIONS SEC. 302-3.10.

THIS PRELIMINARY SIDEWALK DESIGN ASSUMES THAT EXISTING SUBGRADE CONDITIONS CONSIST OF CLEAN GRANULAR MATERIAL (SAND & GRAVEL) AND THAT THERE IS NO WATER TABLE INTERFERENCE. PRIOR TO CONSTRUCTION, THE OWNER SHALL VERIFY THE EXISTING SUBGRADE CONDITIONS USING A GEOTECHNICAL ENGINEERING CONSULTANT, TO DETERMINE THE FINAL PAVEMENT DESIGN.

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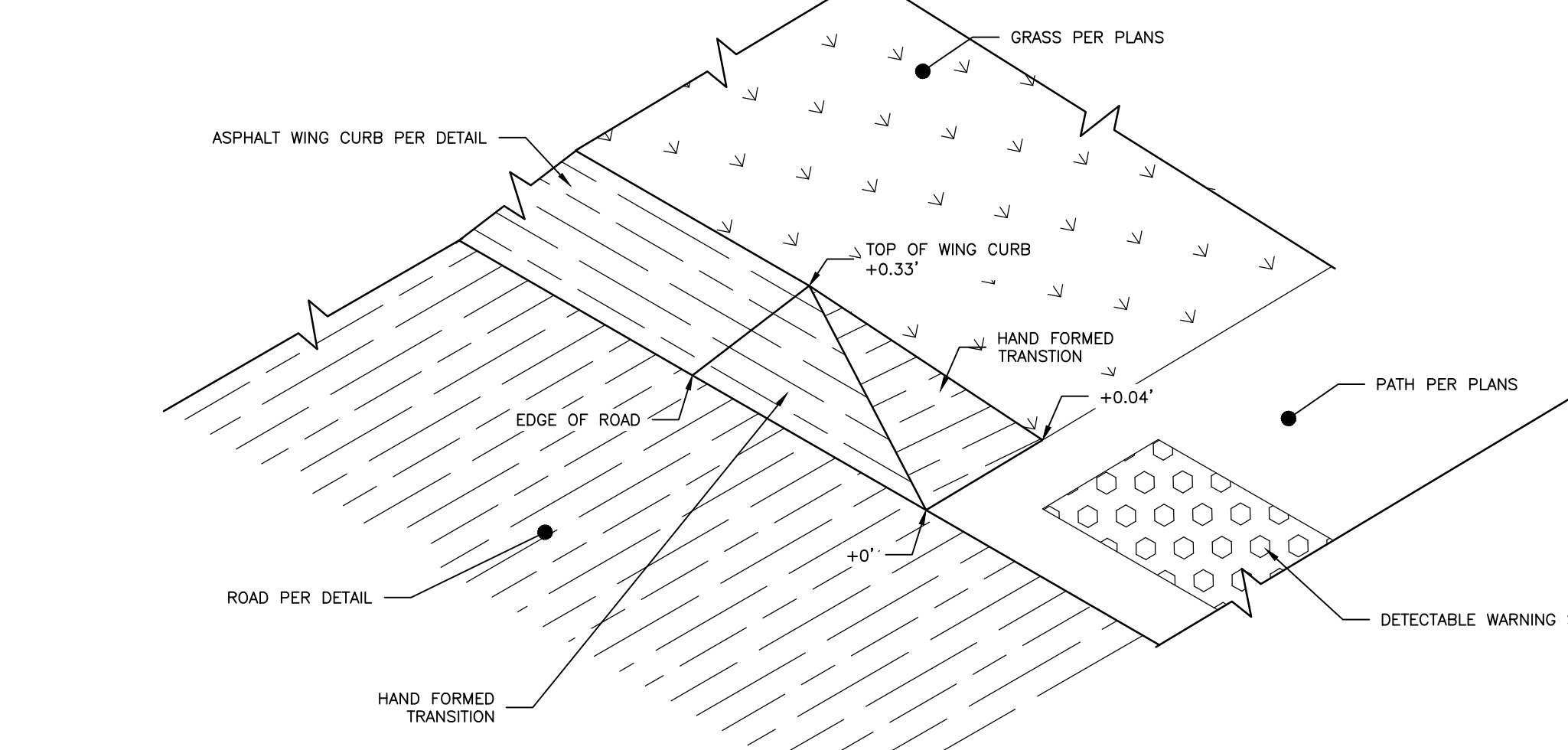
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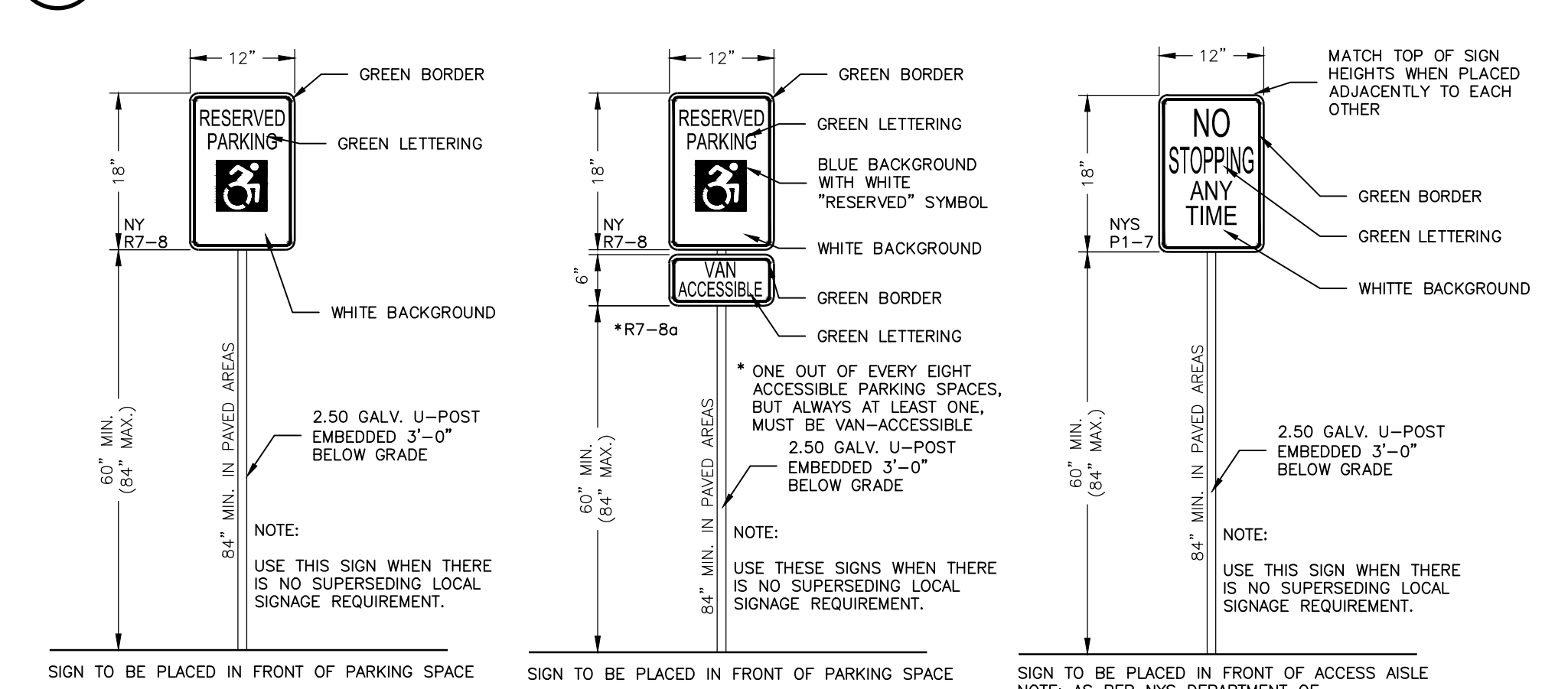
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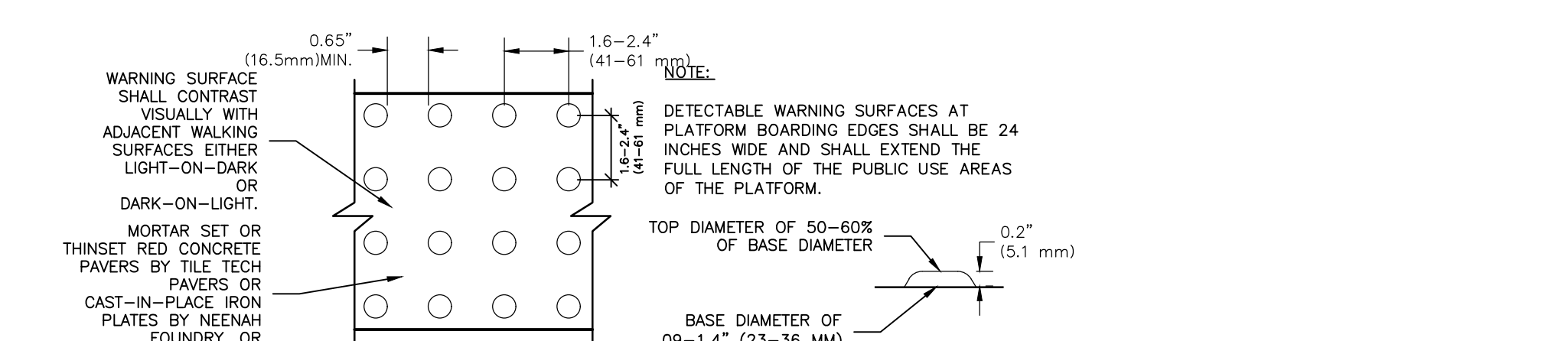
2 ASPHALT WING CURB TRANSITION

NOT TO SCALE

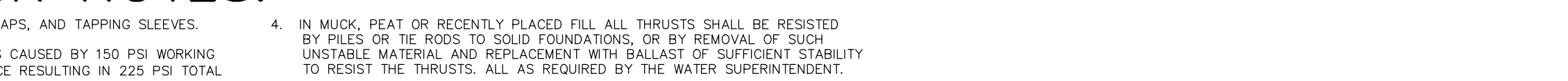
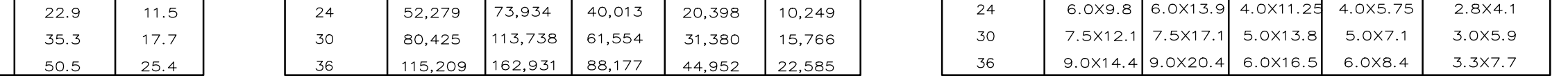
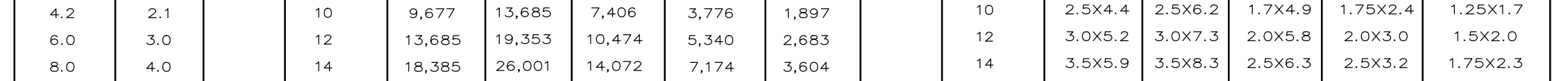
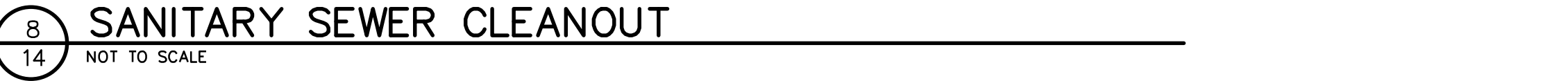
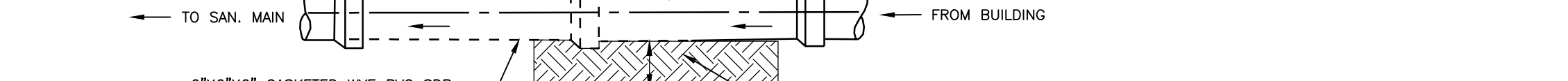
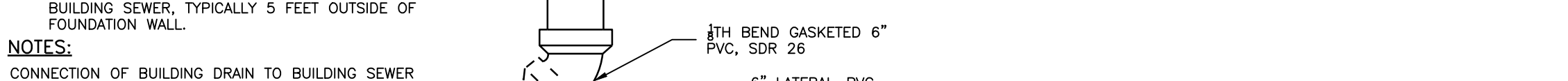
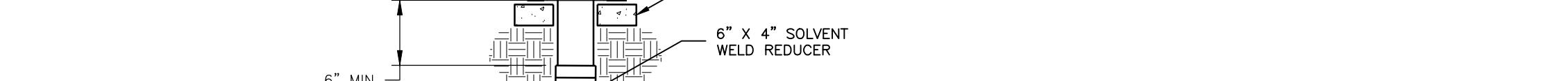
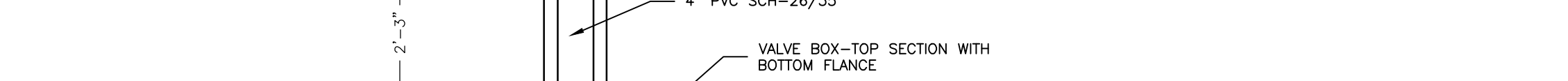
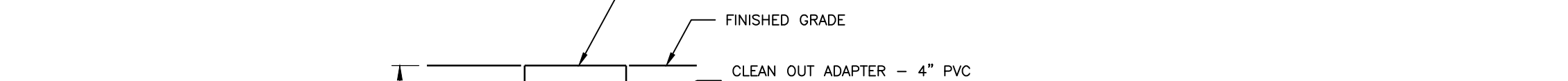
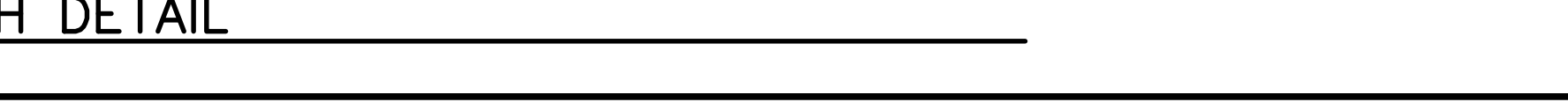
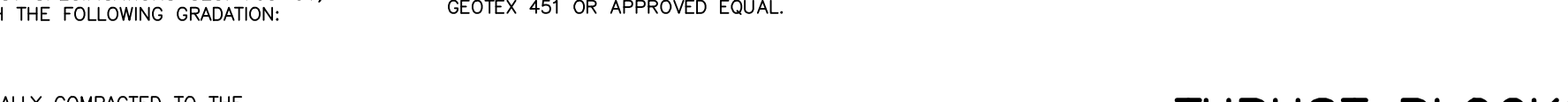
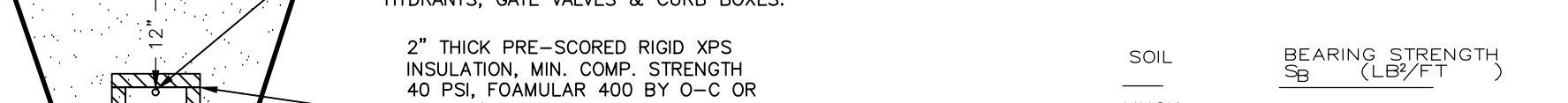
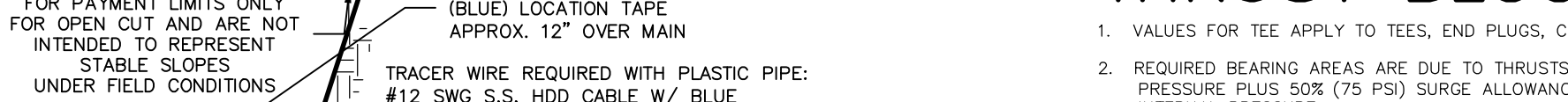
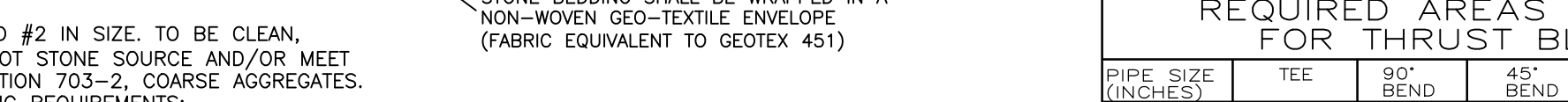
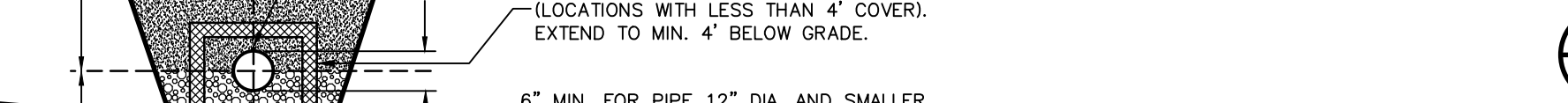
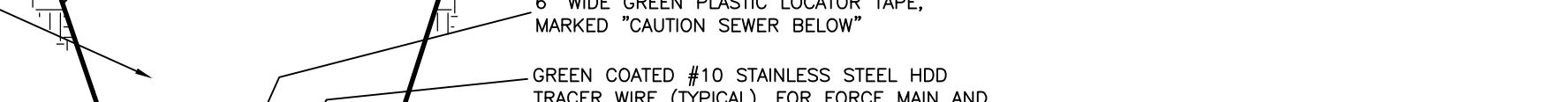
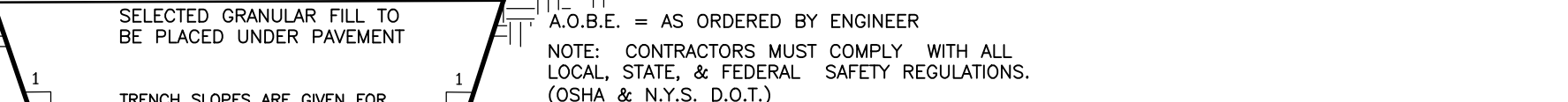
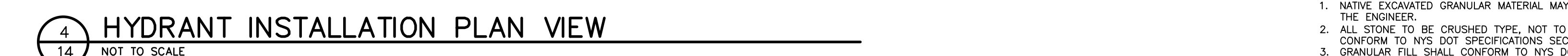
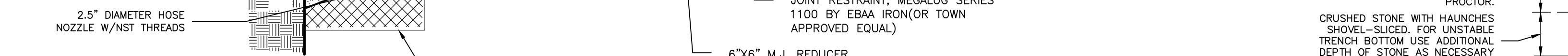
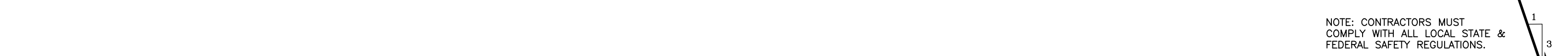
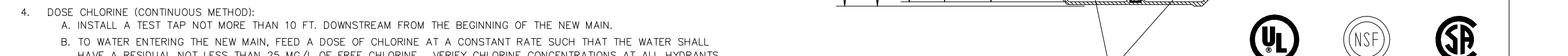
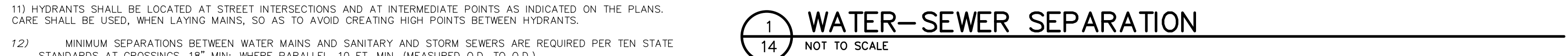


3 ADA ACCESSIBLE PARKING SIGNAGE (NYSDOT)

NOT TO SCALE



- 1) ALL PIPE MATERIALS AND APPURTENANCES ARE SUBJECT TO APPROVAL BY THE WATER SUPERINTENDENT.
- 2) THE CONTRACTOR SHALL VERIFY SIZE, TYPE, HORIZONTAL AND VERTICAL LOCATION OF THE MAIN AT THE PROPOSED CONNECTION POINT(S) PRIOR TO CONSTRUCTION. CONFLICTS WITH OTHER UTILITIES TO BE CONSTRUCTED ARE TO BE AVOIDED. DISCREPANCIES OR CONFLICTS WITH EXISTING UTILITIES SHALL BE REPORTED TO THE WATER SUPERINTENDENT IMMEDIATELY.
- 3) MINIMUM WATER MAIN DEPTH (TOP OF PIPE TO FINISH GRADE) SHALL BE 5'-0"
- 4) ALL FILL BELOW WATER MAIN SHALL BE COMPACTED GRANULAR MATERIAL (MIN 95% MODIFIED PROCTOR TYPE)
- 5) ALL TRENCH BACKFILL SHALL BE MECHANICALLY COMPACTED TO PREVENT SETTLEMENT. TOP TRENCH WITH 12" MIN. APPROVED GRAVEL IN PAVED AREAS AND ALONG SIDE OF EXISTING ROAD FOR SHOULDER BASE. REPLACE DAMAGED PAVEMENTS WITH LIKE KIND AND LINE THICKNESS.
- 6) WATER MAINS SHALL BE DUCTILE IRON (DIP) MIN. CLASS 50.
- 7) WATER MAINS ARE TO BE INSTALLED IN ACCORDANCE WITH ANWA STANDARDS; C600 FOR DUCTILE IRON.
- 8) ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH ANWA STANDARD C602.
- 9) ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE ENCASED IN ACCORDANCE WITH ANWA C105 UNLESS TEST RESULTS PROVIDED BY THE CONTRACTOR INDICATE THE ABSENCE OF SEVERE AGGRESSIVE SOILS.
- 10) ALL WATER PIPE AND APPURTENANCES SHALL BE EITHER NSF® OR UL APPROVED FOR USE WITH POTABLE WATER AND SHALL BEAR THEIR RESPECTIVE SEAL.
- 11) HYDRANTS SHALL BE LOCATED AT STREET INTERSECTIONS AND AT INTERMEDIATE POINTS AS INDICATED ON THE PLANS. CARE SHALL BE USED, WHEN LAYING MAINS, SO AS TO AVOID CREATING HIGH POINTS BETWEEN HYDRANTS.
- 12) MINIMUM SEPARATIONS BETWEEN WATER MAINS AND SANITARY AND STORM SEWERS ARE REQUIRED PER TEN STATE STANDARD. MINIMUM PARALLEL SEPARATION SHALL BE 10'.



2/10/2011

Application #: _____

Date: _____

**Town of Amsterdam
Planning Board
Application to the Planning Board**

A completed Application must be filed at least ten (10) days prior to the meeting at which it is to be considered by the Planning Board, including all applicable attached information.

Applicant: Bruns Realty Group LLC. _____ Applicant's Representative: David Bruns _____
(must be property owner) (if applicable)

Address: 994 Burdeck Street _____ Address: Same _____
Rotterdam, NY 12306 _____

Phone: (518) 915-8004 _____ Phone: () _____

Professional Advisor: EDP _____ - _____ Other : Joseph C. Dannible RLA _____
(i.e. Engineer, Architect, Surveyor, etc.) (if appropriate, please specify)

Address: 900 Route 146 _____ Address: Same _____
Clifton Park NY 12074 _____

Phone: (518) 371-7621 _____ Phone: (518) 347-7142 (direct) _____

Property Location

Address: N/A _____

General Location: Log city road and NYS Route 30 intersection. _____

Zoning District: B-1 and R-2 _____

Tax Parcel ID # (SBL) 24.12-4-7.3 _____

Type of Application (please check appropriate box(s)):

☐ Subdivision

☒ Site Plan

☐ Special Use Permit

☒ Planned Unit Development Review (formal action required by Town Board)

Attached please find Appendix A-SEQR compliance, and Appendix B-Ag. Data Statement compliance. Compliance with these items is required under the applicable NYS Laws, a brief explanation is included in the appendices to assist the applicant. For specifics on submission/application requirements, procedures, time frames, etc., the applicant should refer to the applicable Town regulations (Zoning, Subdivision, etc.) and/or NYS law (SEQR, Ag. & Markets, General Municipal, etc.).

See AGENT → _____
Applicant

Date

[Signature] (AGENT) _____
Applicant's Representative

1-19-2022
Date

Application #: _____

Date: _____

For Office Use Only

Application Fee: \$ _____

Engineering Fees: \$ _____ Description: _____

Other Fees: \$ _____ Description: _____

Total Amount Received: \$ _____

Check #(s)/Date: _____

Received By: _____

Total Amount Returned (engineering fees): \$ _____ Description: _____

For Planning Board Use Only

The Planning Board held a Public Hearing on _____ (day) of _____ (date),
_____ (year) in consideration of this application.

The Application is hereby:

- ☐ approved
- ☐ approved with modifications
- ☐ disapproved

Modifications and comments: _____

Chairman, Town of Amsterdam Planning Board

Date

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Multi-Family Residential Development for Bruns Realty, LLC		
Project Location (describe, and attach a general location map): <small>NYS State Route 30 (approx. 360 ft south of Route 30 and Log City Road Intersection along the westerly side in between Adirondack Tire and Amsterdam Diner. It also has approx. 500 LF of frontage along Log City Road Ext.)</small>		
Brief Description of Proposed Action (include purpose or need): Applicant is proposing a zoning change for 7.7± acre parcel that is currently within the B-1 business district to facilitate the construction of a multi-family unit community that includes up to 106 residential apartment units, connection to municipal sewer and water supplies and storm-water shall be managed on-site		
Name of Applicant/Sponsor: Bruns Realty, LLC (David Bruns)	Telephone: 518-925-5025	
	E-Mail:	
Address: 994 Burdeck street		
City/PO: Rotterdam	State: NY	Zip Code: 12306
Project Contact (if not same as sponsor; give name and title/role): Same	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board- Zoning Amendment	
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board- Zoning amendment referral, Site Plan Approval	
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amsterdam Water and Sewer Department- Water and sewer connection approval.	
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	Montgomery County Planning Board- Section 239 Referral.	
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC- NOI and SWPPP, Endangered Species, Sewer; NYSDOH- Water Supply; NYSOPRHP- Archaeology.	
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ACOE- Wetland permit	
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): <u>NYS Heritage Areas: Mohawk Valley Heritage Corridor</u> <hr/> <hr/>	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s): <hr/> <hr/> <hr/>	

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<u>B-1 Business District</u>	
b. Is the use permitted or allowed by a special or conditional use permit?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action? If Yes,	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. What is the proposed new zoning for the site? <u>Planned Unit Development District</u>	
C.4. Existing community services.	
a. In what school district is the project site located?	<u>Amsterdam School District</u>
b. What police or other public protection forces serve the project site?	<u>Montgomery County Sheriffs department</u>
c. Which fire protection and emergency medical services serve the project site?	<u>Fort Johnson Fire Dept</u>
d. What parks serve the project site?	<u>None</u>

D. Project Details

D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? <u>Multi-Family Residential</u>	
b. a. Total acreage of the site of the proposed action?	<u>7.7±</u> acres
b. b. Total acreage to be physically disturbed?	<u>5.7±</u> acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	<u>21.5±</u> acres
c. Is the proposed action an expansion of an existing project or use?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____	
d. Is the proposed action a subdivision, or does it include a subdivision?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes,	
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)	
ii. Is a cluster/conservation layout proposed? <input type="checkbox"/> Yes <input type="checkbox"/> No	
iii. Number of lots proposed? _____	
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	
e. Will proposed action be constructed in multiple phases?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. If No, anticipated period of construction: <u>24</u> months	
ii. If Yes:	
• Total number of phases anticipated	<u>2</u>
• Anticipated commencement date of phase I (including demolition)	<u>4</u> month <u>2022</u> year
• Anticipated completion date of final phase	<u>9</u> month <u>2024</u> year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____	
<u>Phases will be determined by the realty market and utility connections.</u>	

f. Does the project include new residential uses? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	TBD (Units to be determined during Site Plan review process)
At completion of all phases	_____	_____	_____	TBD

g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, (Area will be determined during Site Plan review process)	
i. Total number of structures <u>1 Community Center</u>	
ii. Dimensions (in feet) of largest proposed structure: <u>TBD</u> height; <u>TBD</u> width; and <u>TBD</u> length	
iii. Approximate extent of building space to be heated or cooled: <u>TBD</u> square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: <u>Stormwater Management</u>	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify: <u>Rain water</u>	
iii. If other than water, identify the type of impounded/contained liquids and their source. <u>Surface water runoff</u>	
iv. Approximate size of the proposed impoundment. Volume: <u>TBD</u> million gallons; surface area: <u>TBD</u> acres	
v. Dimensions of the proposed dam or impounding structure: <u>TBD</u> height; <u>TBD</u> length (Area will be determined during Site Plan review process)	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>TBD</u>	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): <u>Field delineated ACOE wetlands and it is both a portion of the southwestern wetland and the east wetland located on the site.</u>	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
Excavation and fill will be occurring in these areas.

iii. Will proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☒ No
 If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☒ No
 If Yes:
 • acres of aquatic vegetation proposed to be removed: _____
 • expected acreage of aquatic vegetation remaining after project completion: _____
 • purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
 • proposed method of plant removal: _____
 • if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
 If Yes:
 i. Total anticipated water usage/demand per day: TBD during Site Plan review process gallons/day
 ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
 If Yes:
 • Name of district or service area: Amsterdam Water District
 • Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
 • Is the project site in the existing district? ☒ Yes ☐ No
 • Is expansion of the district needed? ☐ Yes ☒ No
 • Do existing lines serve the project site? ☒ Yes ☐ No
 iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____
 • Source(s) of supply for the district: _____
 iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • Proposed source(s) of supply for new district: _____
 v. If a public water supply will not be used, describe plans to provide water supply for the project: _____
 vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
 If Yes:
 i. Total anticipated liquid waste generation per day: TBD during Site Plan review process gallons/day
 ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary Wastewater
 iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
 If Yes:
 • Name of wastewater treatment plant to be used: unknown
 • Name of district: unknown
 • Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
 • Is the project site in the existing district? ☐ Yes ☐ No
 • Is expansion of the district needed? ☐ Yes ☐ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____</p>		
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p>		
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel? 153,000± Square feet or 3.5± acres (impervious surface) _____ Square feet or 7.7± acres (parcel size)</p> <p>ii. Describe types of new point sources. <u>Rooftops, Pavement and Sidewalks.</u></p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? <u>Stormwater management areas</u></p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>		
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p>			
<p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade to, an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7:00 am - 8:00 pm • Saturday: _____ 7:00 am - 8:00 pm • Sunday: _____ N/A • Holidays: _____ N/A </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Residential hours • Saturday: _____ Residential hours • Sunday: _____ Residential hours • Holidays: _____ Residential hours </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7:00 am - 8:00 pm • Saturday: _____ 7:00 am - 8:00 pm • Sunday: _____ N/A • Holidays: _____ N/A 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Residential hours • Saturday: _____ Residential hours • Sunday: _____ Residential hours • Holidays: _____ Residential hours
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7:00 am - 8:00 pm • Saturday: _____ 7:00 am - 8:00 pm • Sunday: _____ N/A • Holidays: _____ N/A 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Residential hours • Saturday: _____ Residential hours • Sunday: _____ Residential hours • Holidays: _____ Residential hours 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration: <u>Sources include but may not be limited to bulldozers, heavy machinery, clearing and cutting equipment, etc.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: <u>Hills and woods that surround the site (total area to be determined during site plan design phase)</u></p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: <u>Lights typical of Residential multi-family settings that include parking area lighting, walkway lamps and building sconces. Height TBD. All lights will be placed so there is no spillage over the property lines.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: <u>Hills and woods that surround the site (total area to be determined during site plan design phase)</u></p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: <u></u> <u></u> <u></u></p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored <u></u></p> <p>ii. Volume(s) <u></u> per unit time <u></u> (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: <u></u> <u></u> <u></u></p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s): <u></u> <u></u> <u></u></p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: <u></u> tons per <u></u> (unit of time) • Operation : <u></u> tons per <u></u> (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: <u></u> • Operation: <u></u> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: <u></u> • Operation: <u></u> 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☒ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

Commercial uses are immediately adjacent to the east, residential and agricultural uses surround the rest of the site.

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.0	3.5±	+3.5±
• Forested	2.0±	0.5±	-1.5±
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	5.15±	0.0	-5.15±
• Agricultural (includes active orchards, field, greenhouse etc.)	0.0	0.0	0.0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.0	0.0	0.0
• Wetlands (freshwater or tidal)	0.55±	0.45±	-.10±
• Non-vegetated (bare rock, earth or fill)	0.0	0.0	0.0
• Other Describe: Lawn and Landscape	0.0	6.75±	+6.75±

<p>c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, i. Identify Facilities: _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>e. Does the project site contain an existing dam? If Yes: i. Dimensions of the dam and impoundment: • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet ii. Dam's existing hazard classification: _____ iii. Provide date and summarize results of last inspection: _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? • If yes, cite sources/documentation: _____ ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>iii. Describe any development constraints due to the prior solid waste activities: _____ _____</p>	
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <input type="checkbox"/> Yes – Spills Incidents database Provide DEC ID number(s): _____ <input type="checkbox"/> Yes – Environmental Site Remediation database Provide DEC ID number(s): _____ <input type="checkbox"/> Neither database ii. If site has been subject of RCRA corrective activities, describe control measures: _____ _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): V00372</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): <u>It appears it is located offsite according to the online NYSDEC Remediation databas</u> _____</p>	

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☒ No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ **6+ feet** (web soil survey)

b. Are there bedrock outcroppings on the project site? ☐ Yes ☒ No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Cut and Fill Land	0.1 %
Illion Silt loam	10.4 %
Mosherville loam	89.5 %

d. What is the average depth to the water table on the project site? Average: _____ **0-6+ feet** (web soil survey)

e. Drainage status of project site soils: ☐ Well Drained: _____ % of site
☐ Moderately Well Drained: _____ % of site
☒ Poorly Drained: **100.0 %** of site

(according to web soil survey, further investigations needed during site plan review process)

f. Approximate proportion of proposed action site with slopes: ☒ 0-10%: **100 %** of site
☐ 10-15%: _____ % of site
☐ 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☒ No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☒ Yes ☐ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☒ Yes ☐ No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☒ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name ACOE- Field Delineated Approximate Size 0.55± acres
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☒ No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? ☐ Yes ☒ No

j. Is the project site in the 100 year Floodplain? ☐ Yes ☒ No

k. Is the project site in the 500 year Floodplain? ☐ Yes ☒ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☒ Yes ☐ No

If Yes:

i. Name of aquifer: Principal Aquifer

<p>m. Identify the predominant wildlife species that occupy or use the project site: <u>Typical wildlife indigenous to Montgomery County)</u> _____ _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

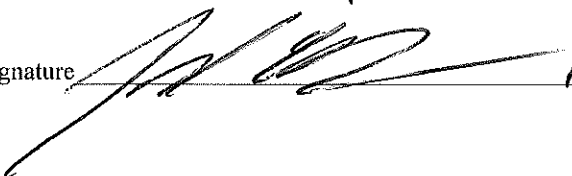
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Joseph C DANNIBLE (AGENT) Date 12-13-2021

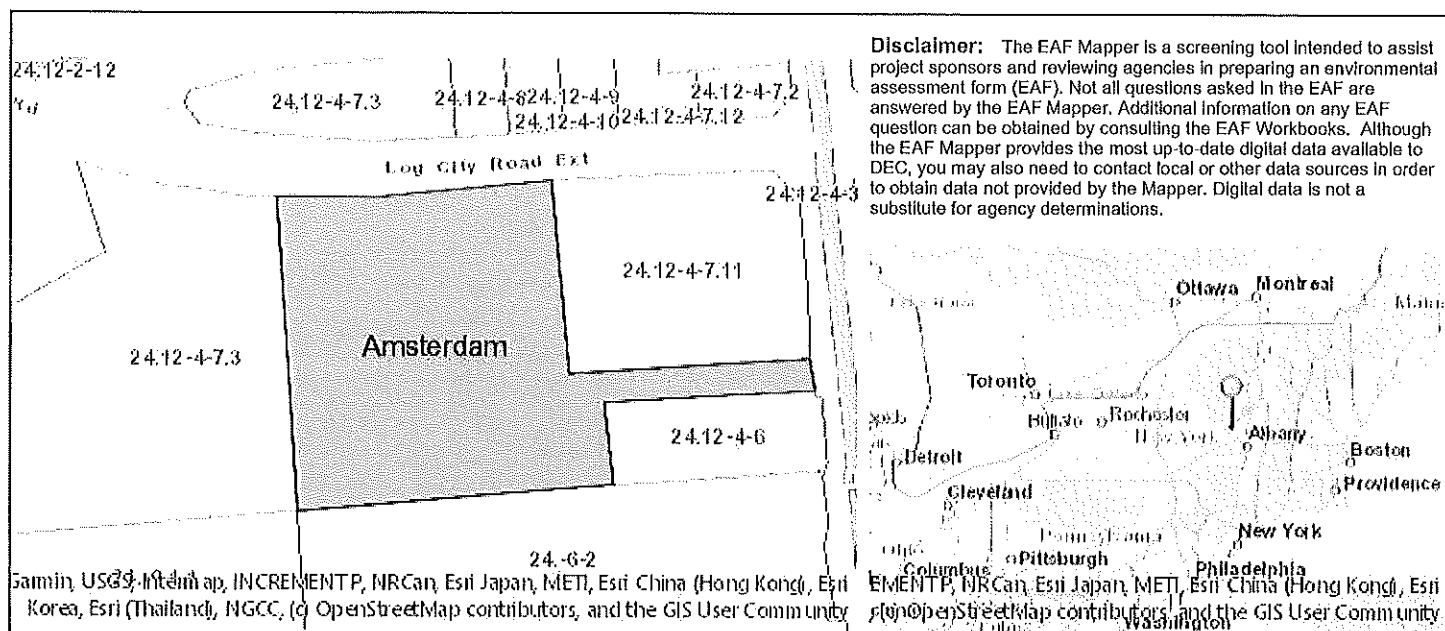
Signature  Agent Title T.L.A.

PRINT FORM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.1.i [Coastal or Waterfront Area]	No
B.1.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: Mohawk Valley Heritage Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer, Primary Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

E.3.f. [Archeological Sites]	Yes	
E.3.i. [Designated River Corridor]	No	



B.1.i [Coastal or Waterfront Area]	No
B.1.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: Mohawk Valley Heritage Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	V00372
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer

E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
assigned by the MCPB upon
acceptance of referral for review

This Referral must be received **SEVEN CALENDAR DAYS** prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
Old County Courthouse,
PO Box 1500, Fonda, New York 12068
Phone: 518-853-8334
Fax: 518-853-8336

FROM: Municipal Board: Amsterdam Common Council
Referring Officer: Stefanie Lenkiewicz
Mail original resolution to: 141 Church Street
Amsterdam, NY 12010

1. Applicant: City of Amsterdam 2. Site Address: 19 Vrooman / 21-23 Vrooman Ave.
3. Tax Map Number(s): 56-53-1-39 / 56-53-1-10 4. Acres: 0.53

5. Is the site currently serviced by public water? ☒ Yes ☐ No

6. On-site waste water treatment is currently provided by: ☒ Public Sewer or ☐ Septic System

7. Current Zoning: MDN 8. Current Land Use: parking lot / vacant land

9. Project Description: Creative Connections Clubhouse is being gifted 19/21-23 Vrooman Ave from the City in order to expand programming and operations. They currently operate on 2 parcels that are in the CC district. In order to consolidate all parcels need to be zoned the same.

10. MCPB Jurisdiction:

<input checked="" type="checkbox"/> Text Adoption or Amendment	<input type="checkbox"/> Site is located within 500' of: _____ (Specify by Name)
<input checked="" type="checkbox"/> a municipal boundary.	
<input type="checkbox"/> a State or County thruway/highway/roadway	
<input type="checkbox"/> an existing or proposed State or County park/recreation area	
<input type="checkbox"/> an existing or proposed County-owned stream or drainage channel	
<input type="checkbox"/> a State or County-owned parcel on which a public building or institution is situated	
<input type="checkbox"/> a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)	

11. PUBLIC HEARING: Date: 6/21/2022 Time: 5:50pm Location: Common Council
6/21/2022 Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. ☒ Text Adoption or ☐ Amendment Referring Board: Common Council

☐ Comprehensive Plan ☐ Local Law ☒ Zoning Ordinance ☐ Other _____

13. ☒ Zone Change Referring Board:

Proposed Zone District: MDN Number of Acres: _____

Purpose of the Zone Change: Consolidating Creative Connection parcels - MDN to CC

14. ☐ Site Plan ☐ Project Site Review Referring Board:

Proposed Improvements: _____

Proposed Use: _____

Will the proposed project require a variance? ☐ Yes ☐ No Type: ☐ Area ☐ Use

Specify: _____

Is a State of County DOT work permit needed? If Yes : ☐ State or ☐ County ☐ No

Specify: _____

15. ☐ Special Permit**Referring Board:**

Section of local zoning code that requires a special permit for this use: _____

Will the proposed project require a variance? ☐ Yes ☐ No Type: ☐ Area ☐ Use**16. Variance****Referring Board:**☐ Area ☐ Use

Section(s) of local zoning code to which the variance is being sought: _____

Describe how the proposed project varies from the above code section: _____

SEQR Determination**Action:****Finding:**

- Check
One
- ☐ Type I
☐ Type II
☒ Unlisted Action
☐ Exempt

- ☐ Positive Declaration – Draft EIS
☐ Conditional Negative Declaration
☒ Negative Declaration
☐ No Finding (Type II Only)

SEQR determination made by (Lead Agency): Common Council Date: 5/17/2022**REQUIRED MATERIAL****Send 13 copies of a “Full Statement of the Proposed Action” which includes:**

All materials required by and submitted to the referring body as an application

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 l and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Amanda Bearey, Director, 518-841-4304
Name, Title & Phone Number of Person Completing this Form

5/18/2022
Transmittal Date

This side to be completed by Montgomery County Planning.

REFERRAL FORM
MONTGOMERY COUNTY PLANNING BOARD

TO: _____

Receipt of 239-m referral is acknowledged on _____. Please be advised that the Montgomery County Planning Board has reviewed the proposal stated on the opposite side of this form on _____ and makes the following recommendation.

- ☐ Approves
- ☐ Approves (with Modification)
- ☐ Disapproves:
- ☐ No significant County-wide or inter-community input
- ☐ Not subject to Planning Board review
- ☐ Took no action

Section 239-m of the General Municipal Law requires that within thirty days after final action by the municipality is taken; a report of the final action shall be filed with the County Planning Board.

Date

Kenneth F. Rose, Director
Montgomery County Dept. of Economic
Development and Planning

COMMON COUNCIL MEETING

May 17, 2022

6:00PM

RESOLUTION #21/22-207

RESOLUTION DESIGNATING THE CITY OF AMSTERDAM LEAD AGENCY FOR SEQRA REVIEW PURPOSES FOR PROPOSED ZONING MODIFICATIONS OF 19 VROOMAN AVENUE AND 21-23 VROOMAN AVENUE

BY: MAYOR CINQUANTI

WHEREAS, the proposed zoning modifications of 19 Vrooman Avenue and 21-23 Vrooman Avenue having been introduced as Ordinance A of 2022 at the Amsterdam Common Council Meeting held on May 17, 2022; and

WHEREAS, the prospective adoption of said zoning amendments require review pursuant to the State Environmental Quality Review Act (6 NYCRR Part 617); and

NOW THEREFORE, BE IT RESOLVED that the City of Amsterdam hereby declares itself lead agency for SEQRA review purposes of said unclassified action; and be it further

RESOLVED, that the City of Amsterdam declares a negative declaration to SEQR on the 19 Vrooman Avenue and 21-23 Vrooman Avenue rezoning project; and


RESOLVED, that a Short Environmental Assessment Form be completed for consideration by the City of Amsterdam; and be it further

RESOLVED, that a public hearing be held on June 21, 2022 at 5:50 p.m.

RESOLUTION ADOPTED UNANIMOUSLY

City of Amsterdam, NY

	Aye	Nay
Alderwoman Quist-Demars	✓	
Alderman D. Gomula	✓	
Alderwoman Collins	✓	
Alderman S. Gomula	✓	
Alderman Martuscello	✓	


MICHAEL CINQUANTI, MAYOR
DATED: May 18, 2022

This is to certify that I, Stefanie Gerken, City Clerk of the City of Amsterdam, County of Montgomery, State of New York, that the above is the original Resolution, passed by the City of Amsterdam Common Council on May 17, 2022, a majority of all members elected to the Council voting in favor.

I have set my hand and the official seal of the City of Amsterdam this 18th day of May 2022

CITY SEAL

Received & Filed in the Office of the City Clerk: 5/18/22


CITY CLERK
Received by: SG

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: City of Amsterdam Zoning Code Update - 19 Vrooman Avenue/21-23 Vrooman Avenue		
Project Location (describe, and attach a general location map): 19 Vrooman Avenue/21-23 Vrooman Avenue, Amsterdam, NY		
Brief Description of Proposed Action (include purpose or need): The City having been recently contacted by Creative Connections Clubhouse, the owner and operator of the building located at 303-305 East Main Street, which is contiguous, with said owner presently in the process of pursuing the purchase of 19 Vrooman Avenue and 21-23 Vrooman Avenue, which is presently zoned "Medium Density Neighborhood" (MDN), with the request being to re-zone said parcel as "Commercial Corridor" (CC) the purpose of the instant ordinance is to modify the zoning map of the City of Amsterdam to re-zone the parcels known as 19 Vrooman Avenue and 21-23 Vrooman Avenue from a zoning designation of "MDN" to a zoning designation of "CC"		
Name of Applicant/Sponsor: City of Amsterdam	Telephone: 518-841-4311	
	E-Mail: mcinquanti@amsterdamny.gov	
Address: 61 Church Street		
City/PO: Amsterdam	State: NY	Zip Code: 12010
Project Contact (if not same as sponsor; give name and title/role): Amanda Bearcroft	Telephone: 518-841-4304	
	E-Mail: abearcroft@amsterdamny.gov	
Address: 61 Church Street		
City/PO: Amsterdam	State: NY	Zip Code: 12010
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Amsterdam Common Council	May 17, 2022
b. City, Town or Village <input type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission		
c. City, Town or <input type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Montgomery County Planning Board	June 9, 2022
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☒ Yes ☐ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☒ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):

The parcel impacted with the zoning update is currently located in MDN zoning district The City has an Opportunity Zone, and a LWRP.

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No

If Yes, what is the zoning classification(s) including any applicable overlay district?

The parcel impacted with the zoning update is Medium Density neighborhood (MDN) and Commercial Corridor (CC).

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☒ Yes ☐ No

If Yes,

i. What is the proposed new zoning for the site? Commercial Corridor (CC) to be the same district as the other two parcels at 303-305 East Main

C.4. Existing community services.

a. In what school district is the project site located? Amsterdam SD

b. What police or other public protection forces serve the project site?

Amsterdam PD, Montgomery County Sheriff

c. Which fire protection and emergency medical services serve the project site?

Amsterdam FD, GAVAC

d. What parks serve the project site?

NA

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres

b. Total acreage to be physically disturbed? _____ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☐ No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____

- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

- Anticipated completion date of final phase _____ month _____ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

<p>f. Does the project include new residential uses? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, show numbers of units proposed.</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;"></th> <th style="width: 20%; text-align: center;"><u>One Family</u></th> <th style="width: 20%; text-align: center;"><u>Two Family</u></th> <th style="width: 20%; text-align: center;"><u>Three Family</u></th> <th style="width: 25%; text-align: center;"><u>Multiple Family (four or more)</u></th> </tr> </thead> <tbody> <tr> <td>Initial Phase</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>At completion</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> <tr> <td>of all phases</td> <td>_____</td> <td>_____</td> <td>_____</td> <td>_____</td> </tr> </tbody> </table>						<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>	Initial Phase	_____	_____	_____	_____	At completion	_____	_____	_____	_____	of all phases	_____	_____	_____	_____
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>																				
Initial Phase	_____	_____	_____	_____																				
At completion	_____	_____	_____	_____																				
of all phases	_____	_____	_____	_____																				
<p>g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes,</p> <p>i. Total number of structures _____</p> <p>ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length</p> <p>iii. Approximate extent of building space to be heated or cooled: _____ square feet</p>																								
<p>h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes,</p> <p>i. Purpose of the impoundment: _____</p> <p>ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____</p> <p>iii. If other than water, identify the type of impounded/contained liquids and their source. _____</p> <p>iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres</p> <p>v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length</p> <p>vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____</p> <p>_____</p>																								
<p>D.2. Project Operations</p>																								
<p>a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)</p> <p>If Yes:</p> <p>i. What is the purpose of the excavation or dredging? _____</p> <p>ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?</p> <ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ <p>iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____</p> <p>_____</p> <p>iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes, describe. _____</p> <p>_____</p> <p>v. What is the total area to be dredged or excavated? _____ acres</p> <p>vi. What is the maximum area to be worked at any one time? _____ acres</p> <p>vii. What would be the maximum depth of excavation or dredging? _____ feet</p> <p>viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>ix. Summarize site reclamation goals and plan: _____</p> <p>_____</p> <p>_____</p>																								
<p>b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____</p> <p>_____</p> <p>_____</p>																								

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☐ Yes ☐ No
If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐ Yes ☐ No
If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No
- Do existing lines serve the project site? ☐ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☐ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☐ No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☐ Yes ☐ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☐ No
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ _____ _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____ _____ _____</p>		
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____ _____</p>		
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (impervious surface)</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____ _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____ _____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>		
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 		<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Estimate methane generation in tons/year (metric): _____</p> <p style="margin-left: 20px;">ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p style="margin-left: 20px;">ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p style="margin-left: 20px;">iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p style="margin-left: 20px;">iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p style="margin-left: 20px;">vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p style="margin-left: 20px;">ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p style="margin-left: 20px;">iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☐ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☐ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

<p>c. Is the project site presently used by members of the community for public recreation? <i>i. If Yes: explain:</i> _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, <i>i. Identify Facilities:</i> _____ _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>e. Does the project site contain an existing dam? If Yes: <i>i. Dimensions of the dam and impoundment:</i></p> <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <p><i>ii. Dam's existing hazard classification:</i> _____</p> <p><i>iii. Provide date and summarize results of last inspection:</i> _____ _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: <i>i. Has the facility been formally closed?</i> <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ <i>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:</i> _____ _____ <i>iii. Describe any development constraints due to the prior solid waste activities:</i> _____ _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: <i>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:</i> _____ _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: <i>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:</i></p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <input type="checkbox"/> Yes – Spills Incidents database <input type="checkbox"/> Yes – Environmental Site Remediation database <input type="checkbox"/> Neither database </div> <div style="width: 50%;"> Provide DEC ID number(s): _____ Provide DEC ID number(s): _____ </div> </div> <p><i>ii. If site has been subject of RCRA corrective activities, describe control measures:</i> _____ _____</p> <p><i>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?</i> If yes, provide DEC ID number(s): _____</p> <p><i>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):</i> _____ _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No <ul style="list-style-type: none"> If yes, DEC site ID number: _____ Describe the type of institutional control (e.g., deed restriction or easement): _____ Describe any use limitations: _____ Describe any engineering controls: _____ Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No Explain: _____ _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <div>_____</div> <div>_____ %</div> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <div>_____</div> <div>_____ %</div> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <div>_____</div> <div>_____ %</div> </div>	
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained: _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, describe: _____ _____	
h. Surface water features. <div style="margin-top: 10px;"> i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input type="checkbox"/> No </div> <div style="margin-top: 10px;"> ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No </div> <p>If Yes to either <i>i</i> or <i>ii</i>, continue. If No, skip to E.2.i.</p> <div style="margin-top: 10px;"> iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No </div> <div style="margin-top: 10px;"> iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <ul style="list-style-type: none"> Streams: Name _____ Classification _____ Lakes or Ponds: Name _____ Classification _____ Wetlands: Name _____ Approximate Size _____ Wetland No. (if regulated by DEC) _____ </div>	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input type="checkbox"/> No	
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <div style="margin-top: 5px;"> i. Name of aquifer: _____ </div>	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>_____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☐ Yes ☐ No

If Yes:

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☐ Yes ☐ No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☐ No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☐ No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☐ No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Michael Cinquanti, Mayor Date 5/23/2022

Signature  Title Mayor

COMMON COUNCIL MEETING

May 17, 2022

6:00PM

RESOLUTION #21/22-208

**RESOLUTION MAKING REFERRAL TO MONTGOMERY COUNTY PLANNING BOARD
PURSUANT TO GENERAL MUNICIPAL LAW 239-m REGARDING PROPOSED ZONING
MODIFICATIONS OF 19 VROOMAN AVENUE AND 21-23 VROOMAN AVENUE**

BY: MAYOR CINQUANTI

WHEREAS, the City of Amsterdam having declared itself as lead agency for SEQRA review purposes for a proposed zoning modification for the parcels known as 19 Vrooman Avenue and 21-23 Vrooman Avenue in connection with a prospective expansion of the Creative Connection Clubhouse; and

WHEREAS, the proposed zoning modifications herein having been introduced as Ordinance A of 2022 at the Amsterdam Common Council Meeting held on May 17, 2022; and


WHEREAS, referral of this matter to the Montgomery County Planning Board being required pursuant to General Municipal Law, Section 239-m; be it

NOW THEREFORE, BE IT RESOLVED that referral of this matter is hereby respectfully made to the Montgomery County Planning Board pursuant to General Municipal Law 239-m.

RESOLUTION ADOPTED UNANIMOUSLY

City of Amsterdam, NY

	Aye	Nay
Alderswoman Quist-Demars	✓	
Alderman D. Gomula	✓	
Alderswoman Collins	✓	
Alderman S. Gomula	✓	
Alderman Martuscello	✓	


MICHAEL CINQUANTI, MAYOR
DATED: May 18, 2022

This is to certify that I, Stefanie Gerken, City Clerk of the City of Amsterdam, County of Montgomery, State of New York, that the above is the original Resolution, passed by the City of Amsterdam Common Council on May 17, 2022, a majority of all members elected to the Council voting in favor.

I have set my hand and the official seal of the City of Amsterdam this 18th day of May 2022


CITY CLERK

CITY SEAL

Received & Filed in the Office of the City Clerk: 5/18/22

Received by: SG