



Meeting Notice

TO: Board Members

FROM: Andrew Santillo

DATE: October 12, 2023

RE: Planning Board Meeting

The regular meeting of the Montgomery County Planning Board is scheduled for Monday, October 16, 2023 at 6:30 p.m. at the Montgomery County Business Development Center, 113 Park Drive, Fultonville, NY.

Please call Karl at (518) 853-8334 between 8:30 a.m. and 4:00 p.m. if you have any questions.

cc: The Recorder
Montgomery Co. Legislature
DPW

The Leader Herald
Daily Gazette



MONTGOMERY COUNTY PLANNING BOARD MEETING

Monday, October 16, 2023

6:30 PM – Montgomery County Business Development Center

- I. Pledge of Allegiance
- II. Role Call
- III. Adoption of Agenda
- IV. Approval of previous meeting minutes
- V. Public comments on agenda items (3 minute limit per person)
- VI. Town of Amsterdam — Site Plan Review
- VII. Town of Florida — Local Law Amendment
- VIII. Village of Canajoharie — Special Use Permit
- IX. Any other business

Montgomery County Planning Board
Meeting Minutes
July 10th, 2023

MEMBERS PRESENT:

Mark Hoffman, Chairman
Irene Collins, Member
Wayne DeMallie, Alternate
Angela Frederick, Member
Erin Covey, Member
David Wiener, Vice Chairman
Frank Szykowski, Member

STAFF MEMBERS PRESENT:

Alex Kuttesch, Senior Planner
Karl Gustafson Jr., Grant Assistant
Andrew Santillo, Staff Assistant

ABSENT:

Betty Sanders, Alternate

OTHERS PRESENT:

Grant Eggleston- City of Amsterdam

I. Call to Order

The meeting was called to order by Chairman Mark Hoffman at 6:31 p.m.

II. Roll Call

The roll call of board members was done by Chairman Hoffman.

III. Adoption of the Agenda

Angela Frederick made a motion to adopt the agenda, Irene Collins seconded. All members present were in favor.

IV. Approval of Previous Meeting's Minutes

Irene Collins made a motion to accept previous meeting minutes, Angela Frederick seconded the motion. The previous minutes were approved.

V. Public Comment

There was no public comments.

VI. City of Amsterdam- Special use permit

Alex Kuttesch stated the referral is a special use permit for a project in the Southside Plaza. The location was previously an office space and is looking to open a retail cannabis store. This is the last step of the project before they can submit their application to the state for cannabis. Grant stated there were no concerns at the public hearing at the city level.

Erin Covey made a motion to approve the referral, seconded by Frank Szykowski.

Irene Collins abstained. Rest of the board was in favor.

The referral was approved.

VII. Town of Amsterdam- Site Plan Review

Alex Kuttesch explained that this referral is a site plan review for a 7 stall horse barn. The barn is located in a remote residential area and is before the board because its proximity to a county road.

Angela Frederick made a motion to approve the referral, seconded by Irene Collins. All were in favor.

The referral was approved.

VIII. Town of Amsterdam- Site Plan Review

Alex Kuttesch stated this referral is a site plan review for a 6,000 SF warehouse on Route 67. The warehouse will be for box trucks and storage for the business.

Erin Covey made a motion to approve the referral, seconded by Angela Frederick. All were in favor.

The referral was approved.

IX. Town of Mohawk- Site Plan Review

This referral was removed off of the agenda by the Town of Mohawk.

X. Other Business

There was no other business.

XI. Adjournment

Erin Covey made a motion to adjourn the meeting at 6:50 p.m., seconded by Irene Collins.
All were in favor.

Respectfully submitted,

Karl Gustafson Jr.
Economic Development Grant Assistant

REFERRAL FORM
MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
assigned by the MCPB upon
acceptance of referral for review

This Referral must be received **SEVEN CALENDAR DAYS** prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
Old County Courthouse,
PO Box 1500, Fonda, New York 12068
Phone: 518-853-8334
Fax: 518-853-8336

FROM: Municipal Board Town of Amsterdam
Planning Board
Referring Officer: Planning Board Secretary
Mail original resolution to Town of Amsterdam
283 Manny's Corner Rd.
Amsterdam, N.Y. 12010

1. Applicant: Lowe's Home Center 2. Site Address: 4825 NY 30 Amsterdam, NY

3. Tax Map Number(s): 24.16-1-11.2 4. Acres: 0.721

5. Is the site currently serviced by public water? ☒ Yes ☐ No

6. On-site waste water treatment is currently provided by: ☒ Public Sewer or ☐ Septic System

7. Current Zoning: M-1 8. Current Land Use: parking lot for Lowe's

9. Project Description: proposed Jiffy Lube Multi-Care Francise, replacing
a portion of asphalt parking along main row.

10. MCPB Jurisdiction:

☐ Text Adoption or Amendment ☐ Site is located within 500' of: _____

- ☐ a municipal boundary.
☒ a State or County thruway/highway/roadway
☐ an existing or proposed State or County park/recreation area
☐ an existing or proposed County-owned stream or drainage channel
☐ a State or County-owned parcel on which a public building or institution is situated
☐ a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)

11. PUBLIC HEARING: Date: no date set Time: _____ Location: _____

Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. ☐ Text Adoption or ☐ Amendment Referring Board: _____
☐ Comprehensive Plan ☐ Local Law ☐ Zoning Ordinance ☐ Other _____

13. ☐ Zone Change Referring Board: _____
Proposed Zone District: _____ Number of Acres: _____

Purpose of the Zone Change: _____

14. ☒ Site Plan ☐ Project Site Review Referring Board: Planning Board

Proposed Improvements: _____

Proposed Use: Jiffy-Lub Multi-Care Francise

Will the proposed project require a variance? ☒ Yes ☐ No Type: ☒ Area ☐ Use

Specify: variances for side setback, lot width, and signage

Is a State or County DOT work permit needed? If Yes : ☐ State or ☐ County ☒ No

Specify: _____

15. ☐ Special Permit

Referring Board:

Section of local zoning code that requires a special permit for this use: _____

Will the proposed project require a variance? ☐ Yes ☐ No Type: ☐ Area ☐ Use

16. Variance

Referring Board:

☐ Area ☐ Use

Section(s) of local zoning code to which the variance is being sought: _____

Describe how the proposed project varies from the above code section: _____

SEQR Determination

Action:

☐ Type I
☐ Type II
☒ Unlisted Action
☐ Exempt

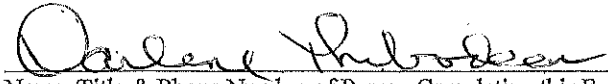
Finding:

☐ Positive Declaration – Draft EIS
☐ Conditional Negative Declaration
☐ Negative Declaration
☐ No Finding (Type II Only)

SEQR determination made by (Lead Agency): not determined yet Date: _____

- REQUIRED MATERIAL
- Send 3 copies of a “Full Statement of the Proposed Action” which includes:
- All materials required by and submitted to the referring body as an application
- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
 - All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 1 and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.



Name, Title & Phone Number of Person Completing this Form

Secretary
578-842-1217

9/29/23

Transmittal Date

This side to be completed by Montgomery County Planning.

REFERRAL FORM
MONTGOMERY COUNTY PLANNING BOARD

TO: _____

Receipt of 239-m referral is acknowledged on _____. Please be advised that the Montgomery County Planning Board has reviewed the proposal stated on the opposite side of this form on _____ and makes the following recommendation.

- ☐ Approves
- ☐ Approves (with Modification)
- ☐ Disapproves:
- ☐ No significant County-wide or inter-community input
- ☐ Not subject to Planning Board review
- ☐ Took no action

Section 239-m of the General Municipal Law requires that within thirty days after final action by the municipality is taken; a report of the final action shall be filed with the County Planning Board.

Date

Kenneth F. Rose, Director
Montgomery County Dept. of Economic
Development and Planning



TOWN OF AMSTERDAM

283 Manny's Corner Road

Amsterdam, NY 12010

Phone: 518-842-7961 • Fax: 518-843-6136

www.townofamsterdam.org

Free due: file file
+ subdivision

APPLICATION FOR ZONING/USE PERMIT

APPLICATION DATE: 08/16/23

APPLICATION #: 2023-080

FEE PD: \$25

ZONE: M-1 (MANUFACTURING / MIXED USE)

TAX MAP NO.: APN: 24.16-1-11.2

1.) PROPERTY/BUILDING LOCATION: 4825 NY-30, AMSTERDAM, NY 12010

2.) PROPERTY OWNER'S NAME: LOWE'S HOME CENTERS INC. TELEPHONE:

ADDRESS: 1000 LOWES BLVD, MOORESVILLE NC 28117

email: Frank.malawski@

3.) APPLICATION IS HEREBY MADE FOR: (Check ALL that are applicable),

Sevan Solutions.com

☒ NEW CONSTRUCTION

☐ RESIDENTIAL

☐ 1 FAMILY

☐ 2 FAMILY

☐ MULTIPLE

☒ COMMERCIAL

☐ MOBILE HOME INSTALLATION

☐ MODULAR HOME INSTALLATION

☐ GARAGE ☐ ATTACHED GARAGE

☐ ACCESSORY BUILDING/STORAGE SHED

☐ CHIMNEY CONSTRUCTION

☐ SOLID FUEL BURNING DEVICE

☐ STOVE INSERT

☐ POOL ☐ IN GROUND ☐ ABOVE GROUND

☐ SEPTIC SYSTEM ☐ WELL

☒ OTHER: CREATION OF A NEW PARCEL FOR A PROPOSED JIFFY

LUBE MULTI-CARE FRANCISE, REPLACING A PORTION

OF ASPHALT PARKING ALONG THE MAIN ROW.

☐ PLANNED UNIT DEVELOPMENT

☐ KENNEL/STABLES

☐ HOME OCCUPATION

☐ OUTDOOR FURNACES

☐ SOLAR COLLECTORS +

INSTALLATIONS

☐ WIND ENERGY FACILITIES

☐ RENOVATION, ALTERATION, CONVERSION

☐ RESIDENTIAL

☐ COMMERCIAL

☐ COMMERCIAL OCCUPANCY (WITH NO RENOVATIONS) INSPECTION ONLY.

☐ DEMOLITION

☐ COMMERCIAL OR ☐ RESIDENTIAL (CHECK ONE)

METHOD OF DEMOLITION:

PLACE OF DEBRIS DISPOSAL:

DISCONNECTION DATE OF UTILITIES:

4.) THE FOLLOWING DESCRIPTION OF THE USE FOR THIS PROPERTY, FOR WHICH APPLICATION IS MADE HERewith, IS SUBMITTED: CREATION OF A NEW PARCEL FOR A PROPOSED JIFFY LUBE MULTI-CARE FRANCISE, REPLACING A PORTION OF ASPHALT PARKING ALONG THE MAIN ROW.

5.) SITE INFORMATION (THE FOLLOWING INFORMATION MUST BE PROVIDED ALONG WITH DETAILED PLOT PLAN)

A.) DIMENSIONS OF LOT: FRONTAGE 142.64' REAR 148.70' RIGHT SIDE 211.20' LEFT SIDE 211.20'

ACREAGE 0.721 ACRES

B.) IS THIS A CORNER LOT? ☒ YES OR ☐ NO EXISTING LOT YES; POST-SUBDIVISION NO.

C.) WILL THE GRADE OF THIS LOT BE CHANGED AS A RESULT OF THIS CONSTRUCTION? ☐ YES OR ☒ NO

IF "YES", DESCRIBE AND SHOW ON PLOT PLAN

D.) ☒ PUBLIC WATER OR ☐ PRIVATE WELL

E.) ☒ SEWER OR ☐ PRIVATE SEPTIC

*** SEPERATE PERMITS ARE REQUIRED FOR PUBLIC WATER AND SANITARY SEWER

F.) DISTANCE FROM LOT LINES: FRONT 58.71' REAR 107.40' RIGHT SIDE 51.74' LEFT SIDE 7.27'

2/10/2011

Application #: 2023-080
Date: 06-16-2023

**Town of Amsterdam
Planning Board
Application to the Planning Board**

A completed Application must be filed at least fourteen (14) days prior to the meeting at which it is to be considered by the Planning Board, including all applicable attached information.

Applicant: LOWE'S HOME CENTERS INC.
(must be property owner)

Address: 4825 NY-30,

AMSTERDAM, NY 12010

Phone: ()

FRANK MALAWSKI

(SENIOR PROJECT MANAGER

Professional Advisor: FOR ENGINEERING FIRM)

(i.e. Engineer, Architect, Surveyor, etc.)

Address: 3025 HIGHLAND PARKWAY, SUITE

DOWNERS GROVE, IL 60515

Phone: (630) 432-2531

Applicant's Representative: FRANK MALAWSKI
(if applicable)

Address: 3025 HIGHLAND PARKWAY, SUITE 850

DOWNERS GROVE, IL 60515

Phone: (630) 432-2531

Other :

(if appropriate, please specify)

Address: _____

Phone: ()

Property Location

Address: 4825 NY-30, AMSTERDAM, NY 12010

General Location: PAVED PARKING LOT OF LOWES HOME IMPROVEMENT

ALONG THE MAIN RIGHT-OF-WAY.

Zoning District: M-1 (MANUFACTURING / MIXED USE)

Tax Parcel ID # (SBL) APN: 24.16-1-11.2

Type of Application (please check appropriate box(s)):

☒ Subdivision

☒ Site Plan

☐ Special Use Permit

☐ Planned Unit Development Review (formal action required by Town Board)

Attached please find Appendix A-SEQR compliance, and Appendix B-Ag. Data Statement compliance. Compliance with these items is required under the applicable NYS Laws, a brief explanation is included in the appendices to assist the applicant. For specifics on submission/application requirements, procedures, time frames, etc., the applicant should refer to the applicable Town regulations (Zoning, Subdivision, etc.) and/or NYS law (SEQR, Ag. & Markets, General Municipal, etc.).

(REPRESENTATIVE) 8/7/23

Applicant

Date

Applicant's Representative

Date

Short Environmental Assessment Form

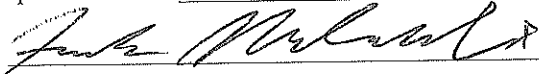
Part 1 - Project Information

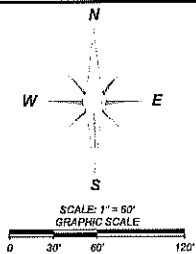
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | |
|--|--|---|--|
| Part 1 – Project and Sponsor Information | | | |
| Name of Action or Project: Commercial Light Automotive Quick Lube Multi-Care Facility | | | |
| Project Location (describe, and attach a location map): 4825 NY-30, Amsterdam, NY 12010 | | | |
| Brief Description of Proposed Action: Proposing A Lot Split with existing parcel; to building a new Commercial Light Automotive Quick Lube Multi-Care Facility near the Right-Of-Way of NY-30. This new building will be (1) one story, with associated signage, lighting, utilities, landscaping, parking, and drive aisles; re-utilizing existing driveways into the development that have been pre-existing to enter Lowes Home Improvement. Demolition of the existing parking lot asphalt will be required; and restored as appropriate. | | | |
| Name of Applicant or Sponsor: Frank Steven Malawski | | Telephone: 630.432.2531 | |
| | | E-Mail: frank.malawski@sevansolutions.com | |
| Address: 3025 Highland Parkway, Suite 850 | | | |
| City/PO: Downers Grove | | State: Illinois | Zip Code: 60515 |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Amsterdam & County of Montgomery | | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? | | 0.721 acres | |
| b. Total acreage to be physically disturbed? | | 0.885 acres | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | 12.74 acres | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: | | | |
| 5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) | | | |
| <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): | | | |
| <input type="checkbox"/> Parkland | | | |

| | | |
|--|-------------------------------------|-------------------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: | | |
| <div><input type="checkbox"/>Shoreline</div> <div><input type="checkbox"/> Forest</div> <div><input type="checkbox"/> Agricultural/grasslands</div> <div><input type="checkbox"/> Early mid-successional</div> <div><input type="checkbox"/>Wetland</div> <div><input checked="" type="checkbox"/> Urban</div> <div><input type="checkbox"/> Suburban</div> | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Is the project site located in the 100-year flood plan? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Stormwater runoff will be reduced due to new landscaping proposed on the property, compared to the current existing parking lot; this will be directed existing storm sewer network within the Lowes shopping plaza. | NO | YES |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| | | |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20.Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <div>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</div> <div><div>Applicant/sponsor/name: Frank Steven Malawski</div><div>Date: 08/02/2023</div></div> <div><div>Signature: </div><div>Title: Senior Project Manager</div></div> | | |



FINAL SUBDIVISION OF

ALL THAT CERTAIN TRACT, PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF AMSTERDAM,
COUNTY OF MONTGOMERY, STATE OF NEW YORK, LYING GENERALLY EASTERLY OF NEW YORK STATE
ROUTE 30 (S.H. NO. 9043) AND NORTHERLY OF WALLINS CORNERS ROAD (COUNTY ROUTE NO. 15)

GENERAL NOTES

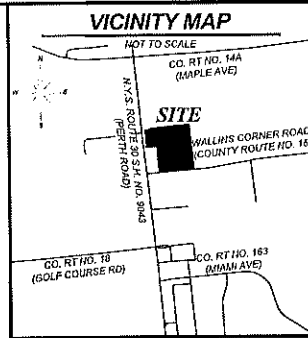
SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
COMPLETED FIELD WORK WAS APRIL 27TH, 2023.
THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENTS.
NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM MONTGOMERY COUNTY GIS.
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7205, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

PROPOSED PARCEL DESCRIPTION

ALL THAT CERTAIN TRACT, PIECE, OR PARCEL OF LAND SITUATED IN THE TOWN OF AMSTERDAM, COUNTY OF MONTGOMERY, STATE OF NEW YORK, BEING A PORTION OF THE LAND DESCRIBED IN BOOK 1277 PAGE 222 RECORDED JUNE 21, 2008 IN THE MONTGOMERY COUNTY CLERK'S OFFICE, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A SET 5/8" CAPPED REBAR "BRUNNER NY 50928" BEING LOCATED ON THE EASTERLY RIGHT-OF-WAY OF N.Y.S. ROUTE 30 (S.H. NO. 9043) AS DESCRIBED IN INSTRUMENT NUMBER 2007-24230 AND BEING THE NORTHWESTERLY CORNER OF THE LAND NOW OR FORMERLY OWNED BY MONTGOMERY CENTER LLC AS DESCRIBED IN DEED BOOK 1615 PAGE 30;
THENCE RUNNING ALONG SAID RIGHT-OF-WAY, S88°13'36"E FOR A DISTANCE OF 143.85 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PROPERTY,
THENCE LEAVING SAID RIGHT-OF-WAY AND RUNNING, N53°45'21"E FOR A DISTANCE OF 211.20 FEET,
THENCE RUNNING, S05°13'36"E FOR A DISTANCE OF 148.70 FEET,
THENCE RUNNING, S83°45'21"W FOR A DISTANCE OF 211.20 FEET,
THENCE RUNNING, N05°13'36"W FOR A DISTANCE OF 6.05 FEET TO A 2" DISC "NY DOT RIGHT-OF-WAY" BEING LOCATED ON THE EASTERLY RIGHT-OF-WAY OF N.Y.S. ROUTE 30 (S.H. NO. 9043) AS DESCRIBED IN INSTRUMENT NUMBER 2007-24230;
THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, N05°13'36"W FOR A DISTANCE OF 142.64 FEET TO THE POINT OF BEGINNING, CONTAINING 0.721 ACRES OR 31405 SQUARE FEET, MORE OR LESS.

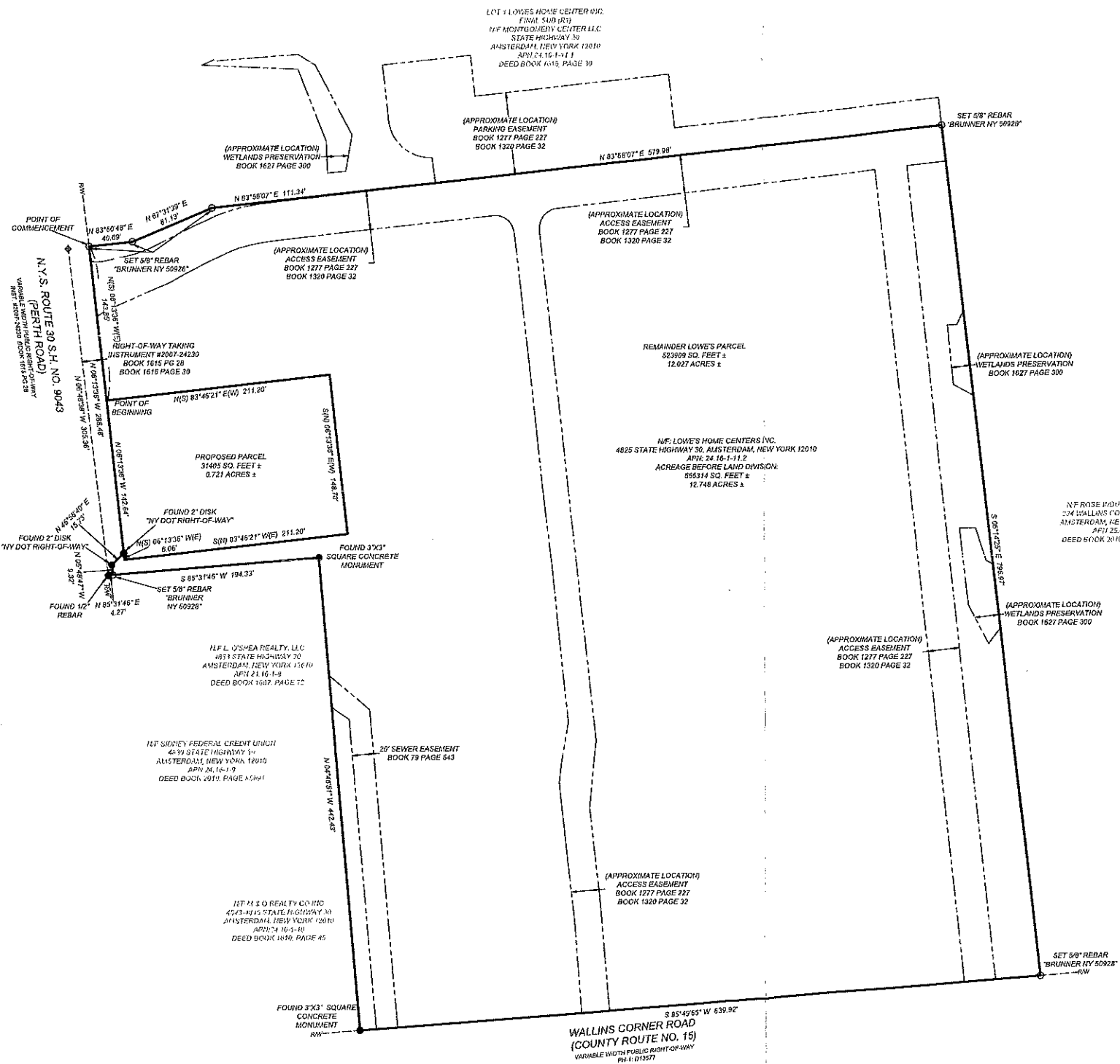
REMAINDER LOWE'S PARCEL DESCRIPTION

ALL THAT CERTAIN TRACT, PIECE, OR PARCEL OF LAND SITUATED IN THE TOWN OF AMSTERDAM, COUNTY OF MONTGOMERY, STATE OF NEW YORK, BEING A PORTION OF THE LAND DESCRIBED IN BOOK 1277 PAGE 222 RECORDED JUNE 21, 2008 IN THE MONTGOMERY COUNTY CLERK'S OFFICE, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A 3"X3" CONCRETE MONUMENT LOCATED ON THE NORTHERLY RIGHT-OF-WAY LINE OF WALLINS CORNERS ROAD AND ALSO BEING THE SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY OWNED BY M & O REALTY CO. INC. AS DESCRIBED IN DEED BOOK 1610 PAGE 85;
THENCE FROM SAID POINT OF BEGINNING RUNNING ALONG THE LANDS OF M & O REALTY CO. INC. AS DESCRIBED IN DEED BOOK 1610 PAGE 85, S05°13'36"E FOR A DISTANCE OF 142.64 FEET TO A 3"X3" CONCRETE MONUMENT;
THENCE RUNNING ALONG THE LAND OF L. O'SHEA REALTY, LLC AS DESCRIBED IN DEED BOOK 1607 PAGE 72, S85°31'46"W FOR A DISTANCE OF 194.33 FEET TO A SET 5/8" CAPPED REBAR "BRUNNER NY 50928" BEING LOCATED ON THE EASTERLY RIGHT-OF-WAY OF N.Y.S. ROUTE 30 (S.H. NO. 9043) AS DESCRIBED IN INSTRUMENT NUMBER 2007-24230;
THENCE RUNNING ALONG SAID RIGHT-OF-WAY, N05°13'36"W FOR A DISTANCE OF 6.05 FEET TO A 2" DISC "NY DOT RIGHT-OF-WAY",
THENCE CONTINUING ALONG SAID RIGHT-OF-WAY, N45°55'40"E FOR A DISTANCE OF 15.73 FEET TO A 2" DISC "NY DOT RIGHT-OF-WAY",
THENCE LEAVING SAID RIGHT-OF-WAY AND RUNNING, S05°13'36"E FOR A DISTANCE OF 6.05 FEET,
THENCE RUNNING, N83°45'21"E FOR A DISTANCE OF 211.20 FEET,
THENCE RUNNING, N05°13'36"W FOR A DISTANCE OF 148.70 FEET,
THENCE RUNNING, S83°45'21"W FOR A DISTANCE OF 211.20 FEET TO THE EASTERLY RIGHT-OF-WAY OF N.Y.S. ROUTE 30 (S.H. NO. 9043) AS DESCRIBED IN INSTRUMENT NUMBER 2007-24230;
THENCE RUNNING ALONG SAID RIGHT-OF-WAY, N05°13'36"W FOR A DISTANCE OF 142.64 FEET TO A SET 5/8" CAPPED REBAR "BRUNNER NY 50928" BEING THE NORTHWESTERLY CORNER OF THE SUBJECT PROPERTY AND THE SOUTHWESTERLY CORNER OF LAND NOW OR FORMERLY OWNED BY MONTGOMERY CENTER LLC AS DESCRIBED IN DEED BOOK 1615 PAGE 30;
THENCE LEAVING SAID RIGHT-OF-WAY AND RUNNING ALONG THE SOUTHERLY LINES OF SAID LAND NOW OR FORMERLY OWNED BY MONTGOMERY CENTER LLC AS DESCRIBED IN DEED BOOK 1615 PAGE 30 THE FOLLOWING FOUR (4) COURSES AND DISTANCES:
1. N83°50'48"E FOR A DISTANCE OF 40.69 FEET TO A SET 5/8" CAPPED REBAR "BRUNNER NY 50928",
2. N67°31'39"E FOR A DISTANCE OF 81.13 FEET TO A SET 5/8" CAPPED REBAR "BRUNNER NY 50928",
3. N81°58'07"E FOR A DISTANCE OF 111.34 FEET,
4. N81°58'07"E FOR A DISTANCE OF 679.98 FEET TO A SET 5/8" CAPPED REBAR "BRUNNER NY 50928" BEING THE NORTHEASTERLY CORNER OF THE SUBJECT PROPERTY, THE SOUTHEASTERLY CORNER OF THE PROPERTY NOW OR FORMERLY OWNED BY MONTGOMERY CENTER LLC AS DESCRIBED IN DEED BOOK 1615 PAGE 30, AND BEING LOCATED IN THE WESTERLY LINE OF LAND NOW OR FORMERLY OWNED BY ROSE INDUSTRIES LLC AS DESCRIBED IN DEED BOOK 2010 PAGE 40335;
THENCE RUNNING ALONG THE LAND NOW OR FORMERLY OWNED BY ROSE INDUSTRIES LLC AS DESCRIBED IN DEED BOOK 2010 PAGE 40335, S06°14'25"E FOR A DISTANCE OF 798.97 FEET TO A SET 5/8" CAPPED REBAR "BRUNNER NY 50928" BEING THE SOUTHEASTERLY CORNER OF THE SUBJECT PROPERTY, THE SOUTHWESTERLY CORNER OF SAID LAND NOW OR FORMERLY OWNED BY MONTGOMERY CENTER LLC, AND BEING LOCATED ON THE NORTHERLY RIGHT-OF-WAY OF WALLINS CORNERS ROAD,
THENCE RUNNING ALONG SAID RIGHT-OF-WAY, S85°49'55"W FOR A DISTANCE OF 639.92 FEET TO THE POINT OF BEGINNING, CONTAINING 12.027 ACRES OR 523909 SQUARE FEET, MORE OR LESS.



LEGEND & SYMBOLS

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- COMPUTED POINT
- BOUNDARY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- NOT TO SCALE



SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN NEW YORK, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A SUBDIVISION OF LAND AS SPECIFIED.

THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE.

JEROME D. BRUNNER
LAND SURVEYOR NO. 050928
STATE OF NEW YORK



DATE SIGNED: 7/18/2023



3025 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
EMAIL: SURVEY@BLEWNC.COM
OFFICE: 479.443.4505 FAX: 479.582.1093
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| DATE | REVISION HISTORY | BY |
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| SURVEYOR JOB NUMBER: 23-2295-02 | SURVEY DRAWN BY: TS - 6/21/2023 |
| SURVEY REVIEWED BY: HM | SHEET: 1 OF 1 |



| VARIANCE REQUEST | |
|------------------|---|
| 1. | FRONT ELEVATION (W), SIGN-A, 123 SF (JLI HORIZONTAL LETTERS), SEC. 31.5.C.2 (91.67' X 19.5') * 10% = 38.36 SF |
| 2. | FRONT ELEVATION (W), SIGN-C, 49 SF (JLI BUTTON SIGN), SEC.31.5.C.2 (91.67' * 19.5') * 10% = 38.36 SF |
| 3. | FRONT ELEVATION (W), SIGN-G(4), 15 SF PER SIGN (60 SF TOTAL), SEC.31.5.C.2 (91.67' * 19.5') * 10% = 38.36 SF |
| 4. | SIDE ELEVATION (N), SIGN-A, 123 SF (JLI HORIZONTAL LETTERS), SEC.31.5.C.2. 30 SF |
| 5. | REAR ELEVATION (E), SIGN-C, 49 SF (JLI BUTTON SIGN), SEC.31.5.C.2 (91.67' * 19.5') * 10% = 38.36 SF |
| 6. | MINIMUM LOT AREA, ZONING SCHEDULE A, 40,000 S.F. REQUIRED, 31,405 S.F. PROPOSED |
| 7. | NORTH BUILDING SETBACK LINE, ZONING SCHEDULE A, 25' REDUCED TO 7' |

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GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KNOW ALL OBSERVABLE CONDITIONS AND TO CONFORM TO ALL APPLICABLE CODES. THE GENERAL CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE OF ANY NECESSARY OR APPROPRIATE QUESTIONS OR CLARIFICATIONS. THE GENERAL CONTRACTOR SHALL INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND STANDARDS, INCLUDING FEDERAL AIA REQUIREMENTS.
2. THE DRAWINGS AND PROJECT MANUAL (INCLUDING ASSOCIATED STUDIES, DRAWINGS, SHOP DRAWINGS AND SIMILAR INSTRUMENTS AS APPLICABLE) CONSTITUTE THE GUIDELINES FOR THE PROJECT AND SHALL BE USED IN CONJUNCTION WITH THE AFOREMENTIONED ENTIRE BODY OF PROJECT INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE COMPLETE INFORMATION TO ALL JURISDICTIONAL AUTHORITIES, SUBCONTRACTORS, ALLIED CONSULTANTS, HIRES, AND ASSIGNS.
3. ALL CONSTRUCTION SHALL COMPLY WITH THE DRAWINGS, PROJECT MANUAL, CODES AND STANDARDS OF THE JURISDICTIONAL AUTHORITY OR AUTHORITIES. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS. IN CASE OF DISCREPANCIES, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
4. THE GENERAL CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A GENERAL "A" LICENSE WITH HAZ MAT CERTIFICATION FROM THE CONTRACTOR'S STATE LICENSE BOARD AND/OR OTHER JURISDICTIONAL AUTHORITY.
5. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND DURING THE INVESTIGATION OF EXISTING UTILITIES AND TOPOGRAPHY AND/OR DURING THE CONSTRUCTION PHASE.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES AND LICENSE FEES. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL REQUIRED WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE ALL TRAFFIC CONTROL NECESSARY FOR THIS WORK.
7. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING AGENCY OR AGENCIES HAVING JURISDICTION. GRADING, PAVING, AND MATERIALS SHALL COMPLY WITH THE JURISDICTIONAL ROADWAY AUTHORITY OR AUTHORITIES (E.G., DEPARTMENT OF TRANSPORTATION) STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, ATTAIN CLARIFICATION FROM THE OWNER'S REPRESENTATIVE.
8. THE GENERAL CONTRACTOR SHALL ENSURE ALL SITE INSPECTIONS REQUIRED BY CITY AND/OR STATE AGENCIES, AND/OR OTHER JURISDICTIONAL AUTHORITY ARE TO BE SCHEDULED A MINIMUM OF FIVE WORKING DAYS IN ADVANCE OF REQUESTED INSPECTION DATE.
9. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER'S REPRESENTATIVE IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE DRAWINGS, PROJECT MANUAL AND/OR FIELD CONDITIONS SO THAT APPROPRIATE ADJUSTMENTS AND/OR REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICTS BETWEEN THE DRAWINGS AND PROJECT MANUAL SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND CONFIRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
10. MATERIAL TESTING SHALL BE SUPPLIED BY THE OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL COORDINATE WITH TESTING FIRM. ALL RE-TESTING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
11. SOIL SAMPLES MAY BE REQUIRED TO BE TAKEN FOR TESTING AT THE DIRECTION OF HAZ MAT, OTHER JURISDICTIONAL AUTHORITY, OR THE OWNER'S REPRESENTATIVE.
12. THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA. TRASH AND WASTE MATERIALS SHALL BE COLLECTED AT A SAFE POINT, AWAY FROM FLAMES OR OTHER FIRE SOURCES. THE GENERAL CONTRACTOR SHALL PREVENT ANY LEAKS OR DROPS OF HYDRAULIC FLUID, MOTOR OIL, MOTOR FUELS, SOLVENTS, AND OTHER HYDROCARBONS FROM CONTAMINATING THE GROUND. SUCH SPILLS SHALL BE IMMEDIATELY COVERED WITH AN OIL ABSORBING MEDIUM (E.G. "OIL DRY") AND REMOVED FROM THE SITE IN A LEGAL AND ENVIRONMENTALLY SOUND MANNER. TRASH SHALL BE PROPERLY DISPOSED OF DAILY, UNLESS A COVERED DUMPSITE IS PROVIDED AND ITS LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE.
13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS AND ORGANIC MATERIAL IN A LAWFUL MANNER.
14. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, OTHER OPENINGS, AND HAZARDOUS AREAS TO KEEP OUT UNAUTHORIZED PERSONS, FOR PUBLIC SAFETY, AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SHOWINGS AND FOR REWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. DEWATERING SHALL NOT DISCHARGE TO ANY SANITARY SEWER SYSTEM OR BE PUMPED ONTO ANY PUBLIC ROADWAY.
16. PROMPTLY REMOVE ALL DEMOLITIONS, PROJECT DISCARDS, RUBBISH, AND DEBRIS FROM THE LIMITS OF THE OWNER'S PROPERTY AND/OR EFFECTIVE PROJECT LIMITS, AND DISPOSE IN A LEGAL MANNER.
17. ALL EQUIPMENT TO BE INSTALLED SHALL BE ILL APPROVED.
18. THE GENERAL CONTRACTOR SHALL PROVIDE A TRAFFIC SEQUENCING AND SCHEDULING PLAN AT THE ON-SITE PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVES AND APPLICABLE LANDLORD'S REPRESENTATIVE(S).
19. THE GENERAL CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL, IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
20. ALL CONSTRUCTION SHALL BE CONDUCTED TO CAUSE MINIMAL INTERFERENCE WITH STREETS, DRIVES OR WALKS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC AND SHALL NOT CAUSE THE CLOSURE OR OBSTRUCTION OF STREETS, DRIVES, WALKS OR USER FACILITIES WITHOUT PERMISSION FROM THE OWNER'S REPRESENTATIVE.
21. THE GENERAL CONTRACTOR SHALL PHASE CONSTRUCTION IN SUCH A WAY AS TO MAINTAIN AN ACCESS ROUTE FROM AN ENTRANCE DRIVE TO TRUCK DOCKS AND/OR LOADING AREAS AT ALL TIMES.
22. CONTRACTOR SHALL KEEP EXISTING STREETS, ROADS AND DRIVES CLEAR OF DIRT, DEBRIS AND EQUIPMENT.
23. THE GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE FOR PARKING AND STORAGE OF EQUIPMENT. THIS AREA, AS WELL AS THE JOB SITE, SHALL BE ENCLOSED IN CHAIN LINK FENCING. A TRAFFIC LANE SHALL BE DESIGNATED FOR INGRESS AND EGRESS FROM THE WORK AREA. IF REQUIRED, FLAG MEN SHALL BE PROVIDED TO PROVIDE FOR SAFE AND EFFICIENT MOVEMENT OF VEHICLES. NO CHANGES TO THE WORK AREA OR TO THE AGREED TRAFFIC PATTERN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE; THE OWNER'S REPRESENTATIVE WILL SECURE APPROVAL FOR SUCH CHANGES, IF APPLICABLE.
24. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
25. FOR THE DURATION OF CONSTRUCTION OPERATIONS, EMPLOYEE(S) WILL PARK IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
26. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT ON CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS. THE RESTORATION OF AFFECTED OWNERS', JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
27. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREOF EXPRESSLY INDICATED OTHERWISE.
28. WRITTEN DIMENSIONS SHALL PREVAIL. NO DIMENSIONS MAY BE SCALED. REFER ANY UNCLEAR ITEMS TO THE OWNER'S REPRESENTATIVE FOR INTERPRETATION.
29. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED DIVERSIONS FOR BUILDINGS, WALLS, CONCRETE SLABS, UTILITY SERVICE POINT CONNECTIONS, ETC., AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.

- COORDINATES AND/OR DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, OR CENTER OF STRUCTURE OR SIGN UNLESS NOTED OTHERWISE.
- ANY BEARINGS USED HEREON ARE FOR THE PURPOSE OF ANGULAR MEASUREMENT ONLY AND ARE NOT NECESSARILY REFERENCED TO TRUE OR MAGNETIC NORTH.
- UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATION/ONE-CALL SYSTEM OFFICE BEFORE ANY DIGGING.
- THE GENERAL CONTRACTOR AT ALL TIMES SHALL ABIDE BY ALL OHSE, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD LINES. IF THE GENERAL CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO UNDERGROUND AND/OR OVERHEAD ELECTRIC LINES, CONTACT THE AFFECTED UTILITY COMPANY AND MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS, PRIOR TO OPERATION.
- THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJACENT PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- IN ALL CASES THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS ASSUMED TO BE ACCURATE. LOCATIONS ARE BASED ON THE BEST AVAILABLE REFERENCE PLANS AND AN ACTUAL FIELD SURVEY OF VISIBLE STRUCTURES. CONTACT THE REGIONAL UTILITY LOCATION/ONE-CALL SYSTEM OFFICE BEFORE DIGGING.
- THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES AND/OR SERVING FACILITIES OCCUPIED AND USED BY THE OWNER, LANDLORD, OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITINGS BY THE AFFECTED OWNER, LANDLORD, JURISDICTIONAL AUTHORITY, AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL OCCUR ONLY AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- NOT USED.
- THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND MAKE THEM AVAILABLE TO THE OWNER'S REPRESENTATIVE, SUBCONTRACTORS, AND/OR ALLED CONSULTANTS THROUGHOUT THE CONSTRUCTION PROCESS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY COMPLETION OF ALL PHASES OF CONSTRUCTION. CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND PROJECT MANUAL, AND TURNED OVER TO THE OWNER'S REPRESENTATIVE IN FULLY OPERATIONAL CONDITION.
- UPON COMPLETION OF THE WORK, THERE SHALL BE A FINAL INSPECTION OF THE PROJECT BY THE OWNER'S REPRESENTATIVE. ALL EQUIPMENT SHALL BE TESTED UNDER NORMAL OPERATING CONDITIONS. THE GENERAL CONTRACTOR SHALL HAVE ALL ELECTRICAL AVAILABLE DURING THE OPENING TO IMPLEMENT ANY APPROPRIATE OR REQUIRED ADJUSTMENTS TO THE EQUIPMENT.
- AFTER ALL WORK HAS BEEN COMPLETED AND THE PROJECT HAS BEEN TESTED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SWEEP THE ENTIRE WORK AREA CLEAN AND REMOVE ALL DIRT, MUD, TRASH, WASTE MATERIAL, CONSTRUCTION EQUIPMENT, AND VEHICLES. DAMAGED PARKING STRIPES OR STAINED PAVEMENT SHALL BE REFURNISHED TO ITS ORIGINAL CONDITION BY THE GENERAL CONTRACTOR.
- SPECIAL CARE SHALL BE TAKEN DURING ALL TRENCHING OPERATIONS, SHEETING AND BRACING, CRIBBING, ETC. MUST BE INSTALLED AS NECESSARY OR APPROPRIATE TO PROVIDE MAXIMUM SAFETY TO THE GENERAL CONTRACTOR'S WORKERS, AND SHALL BE IN FULL COMPLIANCE WITH OSHA REGULATIONS.
- CUTBACK AND REMOVE EXISTING ASPHALT PAVEMENT AS NEEDED TO INSTALL NEW CONCRETE CURBING, WALKS, UNDERGROUND UTILITIES AND/OR NEW BUILDING(S) OR STRUCTURE(S). SAWCUTS SHALL BE MADE A MINIMUM OF 1' BEYOND THE ACTUAL NEW CURB OR WALK LIMITS.
- REMOVE AND REPLACE EXISTING PAVEMENT AS NEEDED TO MATCH EXISTING AND PROPOSED GRADES.
- PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS.
- ALL PAYMENTS, ASSOCIATED AGGREGATE MATERIALS AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DOT OR OTHER JURISDICTIONAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS UNLESS OTHERWISE EXPRESSLY SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS AND RAILINGS AS NECESSARY.
- WHENEVER REQUIRED OR APPROPRIATE, THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER'S REPRESENTATIVE, ENGINEER AND JURISDICTIONAL AUTHORITY OR AUTHORITIES, AND SHALL ACQUIRE SHOP DRAWING APPROVAL PRIOR TO FABRICATION AND/OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW AND APPROVAL.
- THE GENERAL CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING(S), ROOF DRAINS, RAISED CONCRETE SIDEWALKS, RAMPS, STAIRWAYS, ETC.
- TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS, AND TO THE MOST CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN THE COUNCIL WITH THE LOCAL MUNICIPALITY, FIRE DEPARTMENT AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
- IF APPLICABLE, THE GENERAL CONTRACTOR SHALL REMOVE ON-SITE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY THE OWNER'S REPRESENTATIVE, STATE DOT AND OTHER JURISDICTIONAL AUTHORITY. THE GENERAL CONTRACTOR SHALL EXERCISE CARE TO AVOID INSTALLATION OF CONFLICTING SIGNS AND MARKINGS.
- AGGREGATE AND BITUMINOUS PAVEMENT MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS. THE GENERAL CONTRACTOR SHALL SUBMIT AGGREGATE SIEVE ANALYSES AND JOB-MIX FORMULAS FOR AGGREGATE AND BITUMINOUS PAVEMENT TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO PAVEMENT INSTALLATION.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND OTHER AFFECTED JURISDICTIONAL AUTHORITY PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PLANS, SHOP DRAWINGS, LAYOUTS AND SURVEY INFORMATION, AND FOR EXECUTING ALL SURVEY FIELD WORK REQUIRED, TO PERFORM CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND PROJECT MANUAL.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THOSE INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PROVIDED THAT ANY ALTERNATE STANDARD COMPLIES WITH ALL JURISDICTIONAL AUTHORITY REQUIREMENTS, AND THAT THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.

DEMOLITION NOTES:

1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY SITE DEMOLITION, EXCAVATION OR GRADING.
 2. PERFORM CLEARING, STRUCTURE REMOVAL, PAVEMENT REMOVAL AND APPLICABLE STOCKPILING IN ACCORDANCE WITH THE PROJECT DRAWINGS AND PROJECT MANUAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE LAWFUL REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, ORGANIC MATERIAL, ETC. SEE GENERAL NOTES #13.
 3. NO ATTEMPT IS MADE TO STIPULATE EACH ITEM TO BE REMOVED AND/OR DEMOLISHED, EITHER ON THE DRAWINGS OR IN THE PROJECT MANUAL. THE CONTRACTOR MUST VISIT THE SITE TO ASSESS EXISTING PHYSICAL CONDITIONS, AS WELL AS REVIEW THE DRAWINGS, AND ULTIMATELY DETERMINE WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY THE PROJECT DRAWINGS AND PROJECT MANUAL.
 4. COMPLETELY RESTORE ALL DISTURBED AREAS TO CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION AND TO THE SATISFACTION OF AFFECTED OWNER(S) AND/OR GOVERNING AUTHORITY. ALL COSTS FOR CLEAN-UP, RESTORATION WORK AND OTHER RESTORATION OPERATIONS SUCH AS, BUT NOT LIMITED TO, CONSTRUCTION SIGAGE, STREET SWEEPING AND MAINTAINING EXISTING UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. RESTORATION WORK SHALL BE PERFORMED WITHIN FIVE (5) WORKING DAYS AFTER COMPLETION OF FINAL GRADING.
 5. WHERE EXISTING PAVEMENT IS TO BE PARTIALLY REMOVED, SAWCUT PAVEMENT TO FULL DEPTH TO PROVIDE A SMOOTH JOINT WITH PROPOSED PAVEMENT.
 6. ALL DEMOLITION WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
 7. IF APPROPRIATE, RETAIN SOIL SPOOLS FROM CONSTRUCTION EXCAVATION AND STORE AT DESIGNATED LOCATION FOR RE-USE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PROJECT DRAWINGS, AND OWNER'S REPRESENTATIVE APPROVAL(S).
- UTILITY NOTES:**
1. PROTECT AND MAINTAIN CROSSINGS WITH ANY AND ALL OTHER UTILITY LINES.
 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE JURISDICTIONAL AUTHORITY OR AUTHORITIES TO PROVIDE FEES AND SECURE PERMITS FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
 3. THOROUGH COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, AND OTHER JURISDICTIONAL AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
 4. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND DEPTHS OF ALL UTILITIES, INCLUDING SERVICES AND SERVICE LINES, PRIOR TO CONSTRUCTION.
 5. THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE GENERAL CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
 6. THE GENERAL CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN SERVICE RELOCATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES, PAY ALL FEES AND SECURE ALL PERMITS FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS AND DEMOLITION AS NECESSARY OR APPROPRIATE.
 7. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER'S REPRESENTATIVE, OTHER AFFECTED OWNER(S), THE UTILITY COMPANIES AND JURISDICTIONAL AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STEAM, ELECTRIC, TELEPHONE AND CABLE SERVICES TO BUILDING(S) THAT ARE TO REMAIN OPERATIONAL.
 8. THE GENERAL CONTRACTOR SHALL PROVIDE SLEEVES UNDER FOOTINGS AND/OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
 9. THE GENERAL CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS AND ROOF LEADERS, AND TO THE STORM DRAINAGE SYSTEM.
 10. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE UTILITY COMPANY OR COMPANIES, AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
 11. THE GENERAL CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIP, PAVEMENT, CURBS, SIDEWALKS, APPROPRIATE LANDSCAPE AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
 12. PENDING THE GENERAL CONTRACTOR'S NOTIFICATION OF AND APPROVAL BY THE OWNER'S REPRESENTATIVE, UTILITY CONNECTION DESIGN AS REFLECTED BY THE PLANS AND PROJECT MANUAL MAY CHANGE SUBJECT TO UTILITY COMPANY AND JURISDICTIONAL AUTHORITY REVIEW.

BIO NOTES:

1. THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING.
 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL QUANTITIES.
 3. THE CONTRACTOR SHALL INCLUDE THE BITUMINOUS AND CONCRETE PAVING SHOWN ON THE PLANS IN THEIR BEST BID.
 4. THE CONTRACTOR SHALL PROVIDE THE UP CHARGE, IF ANY, TO INSTALL CONCRETE PAVING INSTEAD OF BITUMINOUS PAVING. THIS PRICE SHALL ALSO INCLUDE THE COSTS TO PROTECT THE NEW CONCRETE PAVING FROM WINTER CONDITIONS.
 5. THE GENERAL CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERING REPORT, DATED 05.16.2023 PREPARED BY GEOSTRUCTURES, PROJECT NUMBER G23-143.
- TOWN OF AMSTERDAM NOTES**
1. CONTRACTOR REQUIREMENTS: CONTRACTORS MUST BE REGISTERED WITH THE TOWN OF AMSTERDAM TO BE ASSIGNED TO PERMIT.
 2. CALL 518.842.7961 X108 TO SCHEDULE INSPECTIONS.
 3. EXPIRATION: PERMITS EXPIRE AFTER 12 MONTHS
 4. PERMIT RELEASE REQUIREMENTS: GENERAL CONTRACTOR AND TRADE CONTRACTORS TO PAY FEES IN PERSON WHEN PERMIT IS READY TO ISSUE.

TOWN OF AMSTERDAM NOTES

1. CONTRACTOR REQUIREMENTS: CONTRACTORS MUST BE REGISTERED WITH THE TOWN OF AMSTERDAM TO BE ASSIGNED TO PERMIT.
2. CALL 518.842.7961 X108 TO SCHEDULE INSPECTIONS.
3. EXPIRATION: PERMITS EXPIRE AFTER 12 MONTHS
4. PERMIT RELEASE REQUIREMENTS: GENERAL CONTRACTOR AND TRADE CONTRACTORS TO PAY FEES IN PERSON WHEN PERMIT IS READY TO ISSUE.

DISCLAIMERS:

1. THIS SET OF DRAWINGS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE TO BE USED IN CONJUNCTION WITH THE PROJECT MANUAL AND/OR SUPPLEMENTAL DATA TO BE PROVIDED BY THE OWNER'S REPRESENTATIVE. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
2. EXISTING SITE INFORMATION HEREIN IS PROVIDED BY THE OWNER, SURVEYOR, PLANS PREPARED BY OTHERS, AND/OR FIELD SURFACE EVIDENCE. ALL LOCATIONS ARE PRESUMED TO BE APPROXIMATE. SEVERAL MULTI-SITE SOLUTIONS ASSUMES NO LIABILITY FOR INFORMATION REPRESENTING EXISTING CONDITIONS HEREON. IT IS THE GENERAL CONTRACTOR RESPONSIBILITY TO THOROUGHLY REVIEW THESE DRAWINGS AND SUPPLEMENTAL OWNER PROVIDED DATA WITH ACTUAL SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTE ANY DISCREPANCIES IN THE DRAWINGS AND ACTUAL SITE CONDITIONS, WHETHER SHOWN ON THE PLANS OR NOT, WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING AND CONSTRUCTION.
3. THE DRAWINGS AND PROJECT MANUAL ASSUME THERE ARE NO UNUSUAL SOIL CONDITIONS, UNKNOWN UNDERGROUND STRUCTURES OR IMPEDIMENTS, WIND LOADS, AND/OR SIMILAR UNFORESEEN CIRCUMSTANCES. UNUSUAL CONDITIONS DETECTED BY THE GENERAL CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE AND MAY REQUIRE SIGNIFICANT CHANGES TO THESE DRAWINGS.
4. THE DRAWINGS AND PROJECT MANUAL ARE AND SHALL REMAIN THE PROPERTY OF JIFFY LUBE INTERNATIONAL. REPRODUCTION OR ALTERATION WITHOUT THE EXPRESS WRITTEN PERMISSION OF JIFFY LUBE INTERNATIONAL IS PROHIBITED. (NOT PUBLISHED: ALL RIGHTS RESERVED).

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REVISIONS

[illegible]

CONSULTANT

| |
|------|
| |
| SEAL |
| |

CUSTOMER



PROJECT DESCRIPTION

JIFFY LUBE
MULTI-CARE SERVICES

PROJECT LOCATION

4825 STATE HIGHWAY 30
AMSTERDAM, NY., 12010
(MONTGOMERY)

SHEET TITLE

GENERAL NOTES

SHEET MANAGEMENT

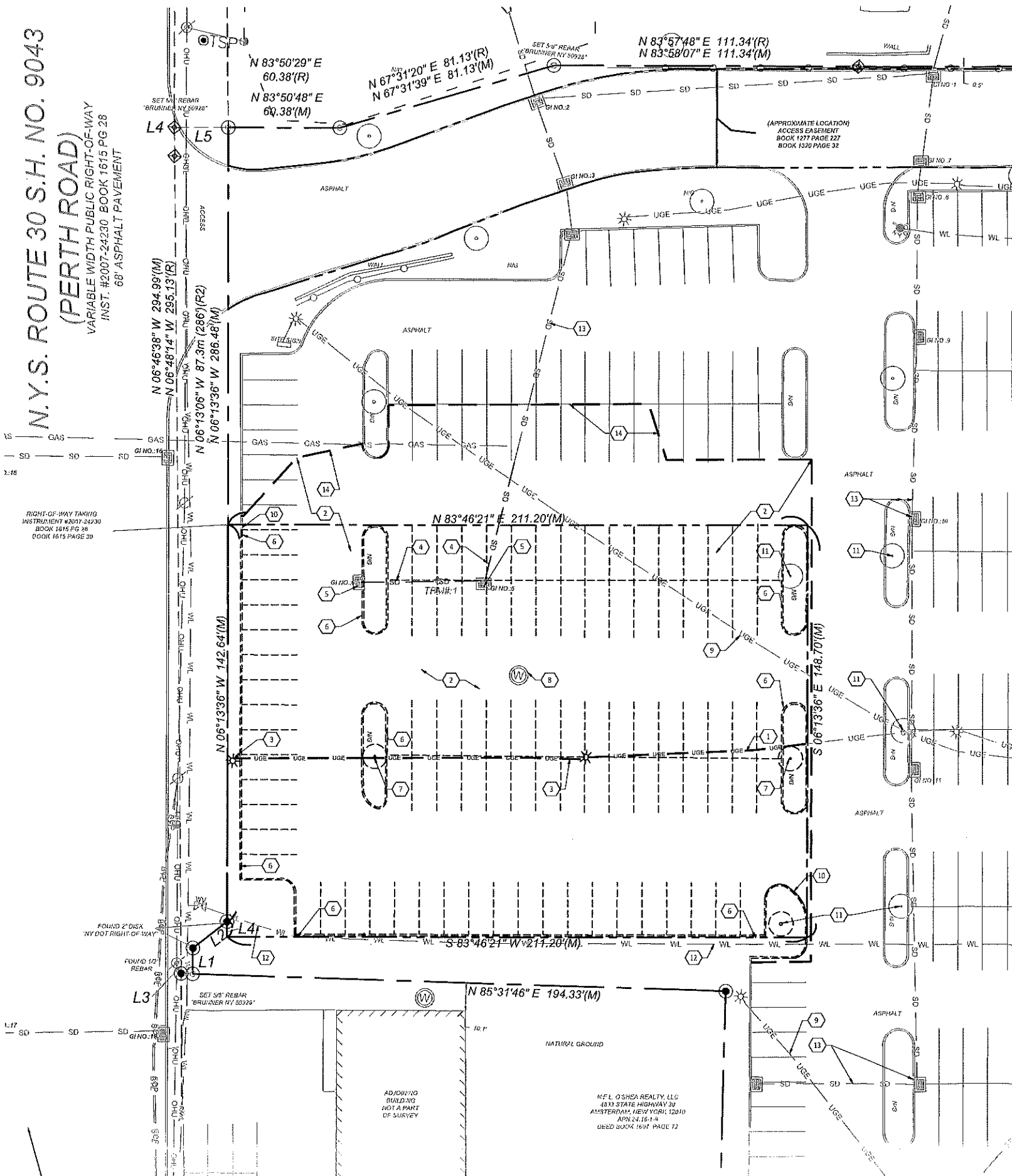
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| PROJECT NO.: | 230 |
| DATE: | 2023.07.21 |
| CRITERIA: | V2021.09-1X4 |
| PROJECT MANAGER: | M. BAUM |

SHEET NUMBER

GO.02

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N.Y.S. ROUTE 30 S.H. NO. 9043
(PERTH ROAD)
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
INST. #2007-24230 BOOK 1615 PG 28
68' ASPHALT PAVEMENT



EXISTING:

- FOUND MONUMENT AS-NOTED
- SET MONUMENT AS-NOTED
- COMPUTED POINT
- TEMPORARY BENCHMARK
- UTILITY POLE
- ELECTRICAL CABINET
- ELECTRICAL MANHOLE
- GUY ANCHOR
- GENERATOR
- LIGHT POLE
- SANITARY SEWER MANHOLE (SMH)
- GRATED INLET (GI)
- DRAINAGE OUTLET AS-NOTED
- STORM SEWER MANHOLE
- MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- GAS METER
- GAS VALVE
- MONITORING WELL
- WATER VALVE
- FIRE HYDRANT
- BOLLARD
- SIGN
- TRAFFIC SIGNAL POLE
- TRASH COMPACTOR
- MEASURED/RECORDED DIMENSION
- RECORD DIMENSION
- RECORD DIMENSION
- FINAL SUBDIVISION PLAN
- LOWE'S HOME CENTERS, INC. PH-1: D13577
- INSTRUMENT #2007-24230 BOOK 1615 PG 28
- PARKING SPACE(S)
- RIGHT-OF-WAY
- N/O NOW OR FORMERLY
- B.H.L. BUILDING HEIGHT LOCATION
- N/G NATURAL GROUND
- CONC. CONCRETE

- LB LOADING BAYS
- P.O.B. POINT OF BEGINNING
- SQ.FT. SQUARE FEET
- TBM TEMPORARY BENCHMARKS
- m METERS
- BOC: BACK OF CURB
- FL: FLOW LINE
- TA: TOP OF ASPHALT
- EC: EDGE OF CONCRETE
- NG: NATURAL GROUND
- TB: TOP OF BANK
- BB: BOTTOM OF BANK
- RW: RETAINING WALL
- PROPERTY LINE
- CENTERLINE RIGHT-OF-WAY
- RIGHT-OF-WAY
- MATCH-LINE
- EASEMENT LINE
- FENCE
- GUARDRAIL
- OHU OVERHEAD UTILITY LINE
- SS UNDERGROUND SANITARY SEWER LINE
- UGE UNDERGROUND ELECTRICAL LINE
- FOP UNDERGROUND FIBER OPTIC LINE
- WL UNDERGROUND WATER LINE
- SD UNDERGROUND STORM SEWER LINE
- BTI UNDERGROUND TELEPHONE LINE
- GAS UNDERGROUND GAS LINE
- MAJOR CONTOUR
- MINOR CONTOUR
- LIMITS OF TOPOGRAPHIC AREA
- NO PARKING AREA

LEGEND

DEMOLITION SITE PLAN KEYNOTES:

- DISCONNECT AND TERMINATE ALL UTILITIES TO BE REMOVED AS REQUIRED BY CODE PRIOR TO STARTING DEMOLITION ACTIVITIES.
- SAWCUT, REMOVE AND DISPOSE OF SITE PAVEMENT AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION.
- DISCONNECT, REMOVE AND DISPOSE OF LIGHT FIXTURE, POLE AND FOUNDATION, TERMINATE UTILITIES AS REQUIRED BY CODE.
- REMOVE AND DISPOSE OF PORTION OF STORM LINE.
- REMOVE AND DISPOSE OF STORM STRUCTURE.
- REMOVE AND DISPOSE OF CONCRETE CURB.
- REMOVE TREE. REFER TO L3.20.
- REMOVE AND RELOCATE MONITORING WELL, LOCATION PER ENVIRONMENTAL CONSULTANT.
- EXISTING UNDERGROUND ELECTRIC TO REMAIN, POWER TO REMAIN ACTIVE AT ALL TIMES.
- EXISTING CURB TO REMAIN, DO NOT DISTURB.
- EXISTING TREE TO REMAIN, DO NOT DISTURB.
- EXISTING WATER LINE, DO NOT DISTURB.
- EXISTING STORM SEWER TO REMAIN, DO NOT DISTURB.
- LINE OF ASPHALT FEATHERING.

| PROPERTY LINE TABLE | | |
|---------------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1(M) | N 05°48'47" W | 9.32' |
| L2(M) | N 45°56'40" E | 15.73' |
| L3(M) | S 85°32'66" W | 4.27' |
| L4(M) | N 06°13'36" W | 6.06' |



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3025 Highland Parkway | Suite 850
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630.581.1000 | www.sevaneng.com

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|---------------------------|
| 0 | 28.01.2023 | PLANNING BOARD SUBMISSION |

CONSULTANT

SEAL

CUSTOMER



PROJECT DESCRIPTION

JIFFY LUBE
MULTI-CARE SERVICES

PROJECT LOCATION

4825 STATE HIGHWAY 30
AMSTERDAM, NY, 12010

(MONTGOMERY)

SHEET TITLE

DEMOLITION SITE PLAN

SHEET MANAGEMENT

| | |
|------------------|--------------|
| PROJECT NO.: | 230 |
| DATE: | 2023.07.21 |
| CRITERIA: | V2021.09.124 |
| PROJECT MANAGER: | M. BAUM |

SHEET NUMBER

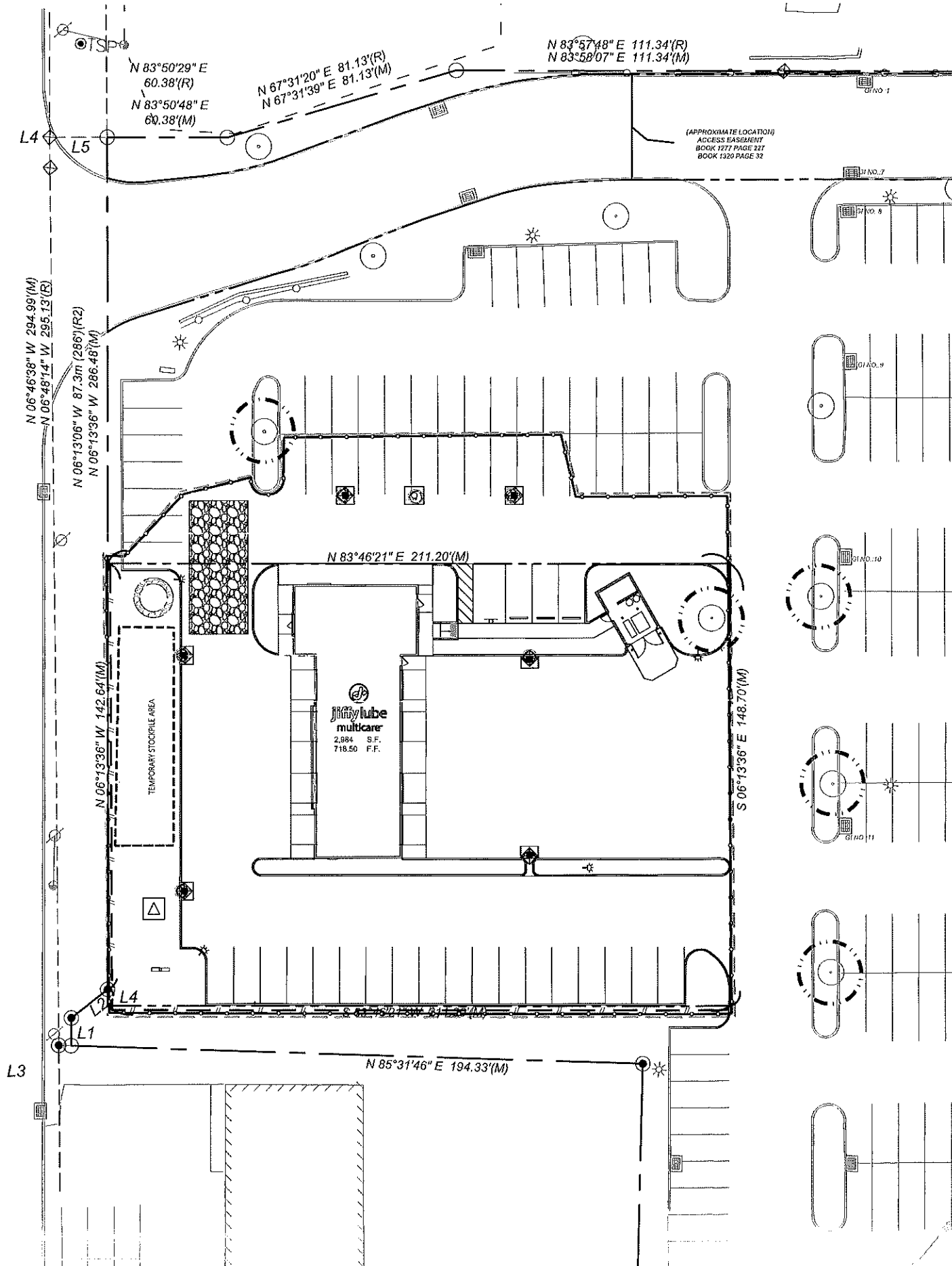
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SOIL EROSION AND SEDIMENTATION CONTROL PLAN

SCALE: 1" = 20'-0"



CONSTRUCTION SITE DEWATERING NOTES

TAKE CARE WHEN DEWATERING CONSTRUCTION SITES. DO NOT PUMP SEDIMENT-LOADED WATER DIRECTLY TO LAKES, STREAMS, COUNTY DRAINS, STORM DRAINS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS. THE PROPER WAY TO DEWATER A CONSTRUCTION SITE IS AS FOLLOWS:

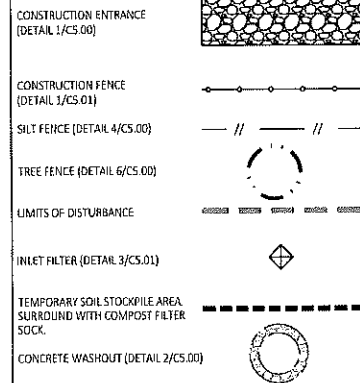
- PLACE A GEOTEXTILE FILTER BAG OR GEOTUBE ON THE END OF THE DISCHARGE HOSE.
- DISCHARGE DIRECTLY TO A SEDIMENT BASIN.
- DISCHARGE TO A WELL VEGETATED AREA (NOT WETLANDS).
- DISCHARGE INTO A CONSTRUCTED CONTAMINANT AREA.

DISSIPATE ENERGY TO PREVENT SCOURING, AND INSPECT DEWATERING OPERATIONS SEVERAL TIMES DAILY.

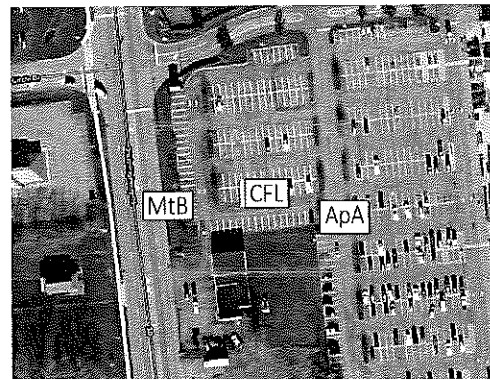
CONSTRUCTION SEQUENCE

- INSTALL TRAFFIC AND PEDESTRIAN SAFETY BARRICADES.
- INSTALL TEMPORARY EROSION CONTROL MEASURES. PROTECT ALL AREAS THAT COULD ALLOW SEDIMENT TO MIGRATE OFF-SITE VIA SURFACE RUNOFF, VIA ENCLOSED DRAINAGE SYSTEMS OR VIA TRACKING CAUSED BY CONSTRUCTION EQUIPMENT, ETC. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- COMPLETE REQUIRED REMOVALS AND LEGALLY DISPOSE OF DEBRIS AND WASTE OFF-SITE.
- PERFORM MASS GRADING AND CONSTRUCT SITE IMPROVEMENTS.
- DAIRY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DITCHES, SILT FENCING, SEDIMENT TRAPS, ETC. SEED AND MULCH AS REQUIRED.
- INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES PER JURISDICTIONAL AUTHORITY REQUIREMENTS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN SITE IS STABILIZED.

LEGEND - SEE SHEET C5.00 FOR ASSOCIATED DETAILS



| CONSTRUCTION OPERATION TIME SCHEDULE | | WEEK | | | | | | | | | | | |
|--------------------------------------|---|------|---|---|---|----|----|----|----|----|----|----|--|
| CONSTRUCTION SEQUENCE | | 2 | 4 | 6 | 8 | 10 | 12 | 14 | 16 | 18 | 20 | 22 | |
| 1 | INSTALL SESC MEASURES | | | | | | | | | | | | |
| 2 | DEMOLITION | | | | | | | | | | | | |
| 3 | EXCAVATION | | | | | | | | | | | | |
| 4 | BACKFILL | | | | | | | | | | | | |
| 5 | SESC MEASURES INSPECTIONS AND MAINTENANCE | | | | | | | | | | | | |
| 6 | COMPLETE EARTH MOVEMENTS | | | | | | | | | | | | |
| 7 | FINAL GRADING, SEEDING AND MULCHING | | | | | | | | | | | | |



SITE SOILS MAP

SCALE: NTS

NOTE: SOILS INFORMATION IS FROM THE NRCS WEB SOIL SURVEY.

| SOIL SERIES LEGEND | |
|--------------------|--|
| SOIL SERIES SYMBOL | SOIL SERIES NAME |
| ApA | APPLETON SILT LOAM, 0 TO 3% SLOPES, SOIL GROUP A |
| CFL | CUT AND FILL LAND, SOIL GROUP A |
| MtB | MOSSVILLE LOAM, 3 TO 8% SLOPES, SOILS GROUP D |

SOIL EROSION AND SEDIMENT CONTROL AND MAINTENANCE NOTES

- A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT, OR SIMILAR PERMIT FROM THE JURISDICTIONAL AUTHORITY, MUST BE SECURED AND POSTED ON-SITE PRIOR TO ANY EARTH CHANGES.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- THE GENERAL CONTRACTOR SHALL STAGE ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK AS DIRECTED IN THE DRAWINGS AND PROJECT MANUAL, AND AS OTHERWISE NECESSARY OR APPROPRIATE TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SESC DEVICES.
- THE GENERAL CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE SESC MEASURES AS SHOWN IN THE DRAWINGS AND PROJECT MANUAL BEFORE, AND AT ALL TIMES DURING, THE CONSTRUCTION OF THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SESC MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR AS DIRECTED BY THE JURISDICTIONAL AUTHORITY.
- IF ANY OF THE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE JURISDICTIONAL AUTHORITY HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL INSPECT THE SESC DEVICES ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. A LOG OF INSPECTION REPORTS SHALL BE MAINTAINED AND ACCESSIBLE IN ACCORDANCE WITH NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. ANY REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
- INSTALL SILT FENCE AS INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PER ATTACHED DETAILS, AND AT ADDITIONAL AFFECTED AREAS AS NECESSARY.
 - SILT FENCE SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE SILT FENCE.
 - IF SILT FENCE DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY.
- INSTALL INLET FILTERS ON ALL PAVEMENT CATCH BASINS PER DETAIL.
 - INLET FILTERS SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - BUILD-UP OF SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY.
 - IF FILTER FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FABRIC SHALL BE REPLACED PROMPTLY.
- INSTALL DRAIN GUARD ON ALL CATCH BASINS PER DETAIL, SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.
 - DRAIN GUARDS SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT.
 - BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE.
 - IF FILTER FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FABRIC SHALL BE REPLACED PROMPTLY.
- ALL STOCKPILED SOILS SHALL BE MAINTAINED IN SUCH A WAY AS TO PREVENT EROSION FROM LEAVING THE SITE. SILT FENCE MUST BE INSTALLED AROUND THE PERIMETER OF THE STOCKPILE. IF THE STOCKPILE WILL BE ON-SITE FOR MORE THAN 30 DAYS, THE STOCKPILE MUST BE SEEDING.
 - IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDING AREAS WITH UNWEATHERED SMALL GRAIN STRAW, SPREAD LINE DRAINS AT THE RATE OF 1 TO 2 TONS PER ACRE OR 100 POUNDS (2-3 BALES) PER 1000 SQUARE FEET.
 - THE MULCH SHOULD BE ANCHORED WITH DISC TYPE MULCH ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE JURISDICTIONAL AUTHORITY. MULCH MATTING MAY BE USED IN LIEU OF LOOSE MULCH.
- IF ANY PUMP-DRIVEN DEWATERING IS NEEDED, IT SHALL BE DISCHARGED THROUGH A FILTER BAG OVER A WELL-VEGETATED AREA. THE PUMP MUST DISCHARGE AT A NON-EROSIVE VELOCITY. IF NECESSARY, AN APPROVED ENERGY DISSIPATOR MAY BE USED. IF ANY DEWATERING IS NEEDED OR ANTICIPATED, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN FOR REVIEW.
- CONSTRUCTION ACCESS TO BE FROM THE EXISTING APPROACH, OR OTHER EXPRESSLY DESIGNATED AREA. NO ACCESS SHOULD BE MADE FROM ADJACENT PROPERTIES WITHOUT PRIOR CONSENT.
- ALL MUD, DIRT, AND DEBRIS TRACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY BY THE GENERAL CONTRACTOR.
- STREETS AND/OR PARKING AREAS WILL BE SCRAPED AND SWEEP ON A DAILY BASIS BY THE GENERAL CONTRACTOR.
- ALL DISTURBED AREAS SHALL BE MAINTAINED FOR DUST CONTROL. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES AND USED ON HAUL ROADS, ON-SITE DISTURBED AREAS, AND OTHER AREAS WHERE DUST BECOMES A PROBLEM AS A RESULT OF CONSTRUCTION ACTIVITY.
- PERMANENT SESC MEASURES FOR ANY DISTURBED LAND AREA SHALL BE COMPLETED BY THE GENERAL CONTRACTOR WITHIN FIVE (5) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER EARTH CHANGE ACTIVITY CEASES, TEMPORARY SESC MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SESC MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SESC MEASURES ARE IMPLEMENTED.
- THE GENERAL CONTRACTOR SHALL FINAL GRADE, ESTABLISH VEGETATION, AND/OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY SESC DEVICES AFTER PERMANENT STABILIZATION IS ESTABLISHED.
- 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
- EXISTING DRAINAGE OUTLET FOR SITE: FLOW TO EXISTING, PREVIOUSLY APPROVED MASTER DEVELOPMENT DETENTION BASIN NORTH OF THE PROPOSED OUTLOT.
- PROPOSED DRAINAGE OUTLET FOR SITE: OUTLET TO THE EXISTING STORM SYSTEM ADJACENT TO THE PROPOSED OUTLOT. THE IMPERVIOUS AREA HAS BEEN DECREASED FROM EXISTING CONDITIONS, SEE STORM WATER MANAGEMENT REPORT.
- TOTAL AREA OF DISTURBANCE: 0.79± AC
- SOIL TYPE(S): APA: APPLETON SILT LOAM, CFL: CUT AND FILL LAND, MTB: MOSSVILLE LOAM
- NAME OF AND DISTANCE TO NEAREST LAKE, STREAM, OR DRAIN: PREVIOUSLY APPROVED MASTER DEVELOPMENT DETENTION BASIN DISCHARGES TO STATE HIGHWAY 30 DITCH.

| PROPERTY LINE TABLE | | |
|---------------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1(M) | N 05°48'47" W | 9.32' |
| L2(M) | N 45°56'40" E | 15.73' |
| L3(M) | S 85°32'66" W | 4.27' |
| L4(M) | N 06°13'36" W | 6.06' |



REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|---------------------------|
| 0 | 08.01.2023 | PLANNING BOARD SUBMISSION |

CONSULTANT

SEAL

CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**4825 STATE HIGHWAY 30
AMSTERDAM, NY, 12010**

(MONTGOMERY)

SHEET TITLE


**SOIL EROSION AND
SEDIMENTATION
CONTROL PLAN**

SHEET MANAGEMENT

| | |
|------------------|--------------|
| PROJECT NO.: | 230 |
| DATE: | 2023.07.21 |
| CRITERIA: | V2021.09.104 |
| PROJECT MANAGER: | M. BAHA |

SHEET NUMBER

C1.11

[illegible]

jiffylube

JIFFY LUBE
MULTI-CARE SERVICE

4825 STATE HIGHWAY
AMSTERDAM, NY., 12005
(MONTGOMERY)

DIMENSION CONTR
SITE PLAN

| | |
|------------------|---------|
| PROJECT NO.: | |
| DATE: | 2023 |
| CRITERIA: | V2021.6 |
| PROJECT MANAGER: | M. |

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










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





































































GENERAL SITE NOTES

- A. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- B. NOTIFY OWNER OF ANY DISCREPANCIES.
- C. SEE SURVEY FOR ALL EXISTING CONDITIONS.
- D. ALL WORK IN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS AND STANDARDS.
- E. PARKING SPACES TO THE WEST AND BUILDING ARE PARALLEL AND PERPENDICULAR TO PROPERTY LINE N 83°46'21" E 211.20'(M).

PROPOSED:

| | |
|--|--|
| STORM SEWER | — STM — |
| ROOF DRAIN | — — — — |
| SANITARY SEWER | — SAN — |
| WATER MAIN/SERVICE | — W — |
| GAS MAIN/SERVICE | — GAS — |
| ELECTRIC SERVICE | — UGE — |
| TELEPHONE SERVICE | — UGT — |
| OVERHEAD UTILITIES | — OH — |
|  STORM MAINHOLE |  TRANSFORMER |
|  CATCH BASIN |  LIGHT POLE |
|  YARD BASIN |  WATER VALVE |
|  FLARED END SECTION |  FIRE HYDRANT |
|  SANITARY MANHOLE |  FUEL VENT |
|  SANITARY CLEANOUT |  AIR TOWER |

EXISTING

| | | | | |
|---|--|---|---|---------------------------------|
|  | FOUND MONUMENT AS-NOTED |  | LB | LOADING BAYS |
|  | SET MONUMENT AS-NOTED |  | P.O.B. | POINT OF BEGINNING |
|  | COMPUTED POINT |  | SQ. FT. | SQUARE FEET |
|  | TEMPORARY BENCHMARK |  | TBM | TEMPORARY BENCHMARKS |
|  | UTILITY POLE |  | m | METERS |
|  | ELECTRICAL CABINET |  | BOC: | BACK OF CURB |
|  | ELECTRICAL MANHOLE |  | FL: | FLOW LINE |
|  | GUY ANCHOR |  | TA: | TOP OF ASPHALT |
|  | GENERATOR |  | EC: | EDGE OF CONCRETE |
|  | LIGHT POLE |  | NG: | NATURAL GROUND |
|  | SANITARY SEWER MANHOLE (SMH) |  | TB: | TOP OF BANK |
|  | GRATED INLET (GI) |  | BB: | BOTTOM OF BANK |
|  | DRAINAGE OUTLET AS-NOTED |  | RW: | RETAINING WALL |
|  | STORM SEWER MANHOLE |  | --- | PROPERTY LINE |
|  | MANHOLE |  | --- | CENTERLINE RIGHT-OF-WAY |
|  | TELEPHONE MANHOLE |  | --- | RIGHT-OF-WAY |
|  | TELEPHONE PEDESTAL |  | --- | MATCH-LINE |
|  | GAS METER |  | --- | EASEMENT LINE |
|  | GAS VALVE |  | --- | FENCE |
|  | MONITORING WELL |  | --- | GUARDRAIL |
|  | WATER VALVE |  | --- | OVERHEAD UTILITY LINE |
|  | FIRE HYDRANT |  | SS | UNDERGROUND SANITARY SEWER LINE |
|  | BOLLARD |  | UGE | UNDERGROUND ELECTRICAL LINE |
|  | SIGN |  | FOP | UNDERGROUND FIBER OPTIC LINE |
|  | TRAFFIC SIGNAL POLE |  | WVL | UNDERGROUND WATER LINE |
|  | TRASH COMPACTOR |  | SO | UNDERGROUND STORM SEWER LINE |
|  | MEASURED/RECORDED DIMENSION |  | BTI | UNDERGROUND TELEPHONE LINE |
|  | RECORD DIMENSION |  | GAS | UNDERGROUND GAS LINE |
|  | RECORD DIMENSION |  | --- | MAJOR CONTOUR |
|  | FINAL SUBDIVISION PLAN |  | --- | MINOR CONTOUR |
|  | LOWE'S HOME CENTERS, INC. PH-1: D13577 |  | --- | LIMITS OF TOPOGRAPHIC AREA |
|  | RECORD DIMENSION |  |  | NO PARKING AREA |
|  | PARKING SPACE(S) | | | |
|  | RIGHT-OF-WAY | | | |
|  | NOW OR FORMERLY | | | |
|  | BUILDING HEIGHT LOCATION | | | |
|  | NATURAL GROUND | | | |
|  | CONCRETE | | | |

LEGEND

PAVING LEGEND:

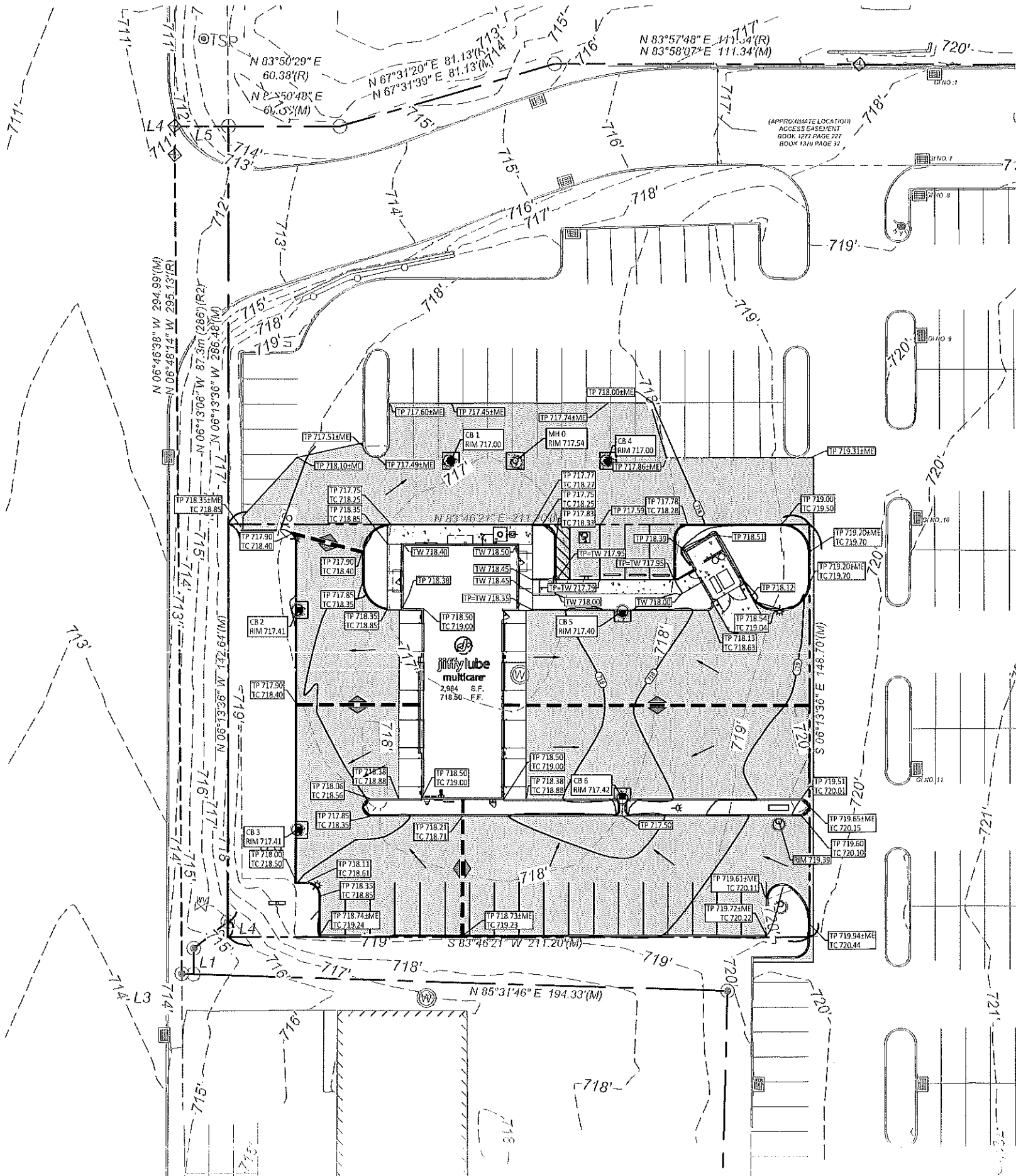
HEAVY DUTY ASPHALT PAVEMENT

CONCRETE PAVEMENT

Dig! Safety, New York
Call 811
before you dig

FILE NAME: Y:\Shared\Jiffy Lube\Projects\4825 State Highway 30, Amsterdam, NY\Drawings\CL30.dwg, LAST SAVED BY: Kase, Doug, SAVED DATE: 7/31/2023 5:46 PM, PLOTTED: 8/1/2023 3:18 PM

GRADING PLAN
SCALE: 1" = 20'-0"



GRADING LEGEND:

TG GUTTER GRADE
TC TOP OF CURB
BW FINISHED GRADE AT WALL
FG FINISHED GRADE
FL DITCH FLOW LINE
TP TOP OF PAVEMENT
RIM UNDERGROUND STRUCTURE RIM
TW TOP OF WALK
FFE FINISHED FLOOR ELEVATION
ME MATCH EXISTING
2.0% PROPOSED SLOPE
— DIRECTION OF OVERLAND FLOW

BENCHMARKS:

AS PER SURVEY NOTES:

SITE BENCHMARK 1:
SET MAG-NAIL
NORTHING: 1508159.96
EASTING: 575818.42
ELEVATION: 716.73'

SITE BENCHMARK 2:
FOUND 3'X3' SQUARE
CONCRETE MONUMENT
NORTHING: 1508024.11
EASTING: 575999.20
ELEVATION: 720.15'

PROPOSED:

STORM SEWER — STM —
ROOF DRAIN — — —
SANITARY SEWER — SAN —
WATER MAIN/SERVICE — W —
GAS MAIN/SERVICE — GAS —
ELECTRIC SERVICE — UGE —
TELEPHONE SERVICE — UGT —
OVERHEAD UTILITIES — OH —
STORM MANHOLE — — —
CATCH BASIN — — —
YARD BASIN — — —
FLARED END SECTION — — —
SANITARY MANHOLE — — —
SANITARY CLEANOUT — — —
TRANSFORMER — — —
LIGHT POLE — — —
WATER VALVE — — —
FIRE HYDRANT — — —
FUEL VENT — — —
AIR TOWER — — —

EXISTING:

● FOUND MONUMENT AS-NOTED
● SET MONUMENT AS-NOTED
● COMPUTED POINT
● TEMPORARY BENCHMARK
● UTILITY POLE
● ELECTRICAL CABINET
● ELECTRICAL MANHOLE
● GUY ANCHOR
● GENERATOR
● LIGHT POLE
● SANITARY SEWER MANHOLE (SMH)
● GRATED INLET (GI)
● DRAINAGE OUTLET AS-NOTED
● STORM SEWER MANHOLE
● MANHOLE
● TELEPHONE MANHOLE
● TELEPHONE PEDESTAL
● GAS METER
● GAS VALVE
● MONITORING WELL
● WATER VALVE
● FIRE HYDRANT
● BOLLARD
● TSP TRAFFIC SIGNAL POLE
● TRASH COMPACTOR
● MEASURED/RECORDED DIMENSION
● (M) RECORD DIMENSION
● (R) RECORD DIMENSION
● (R1) RECORD DIMENSION
● (R2) RECORD DIMENSION
● PS FINAL SUBDIVISION PLAN
● RW LOWE'S HOME CENTERS, INC. PH-1: D13577
● RECORD DIMENSION
● INSTRUMENT #2007-24230 BOOK 1616 PG 28
● PARKING SPACE(S)
● RIGHT-OF-WAY
● NOW OR FORMERLY
● B.H.L. BUILDING HEIGHT LOCATION
● NG NATURAL GROUND
● CONC. CONCRETE

LB LOADING BAYS
P.O.B. POINT OF BEGINNING
SQ.FT. SQUARE FEET
TBM TEMPORARY BENCHMARK
m METERS
BOC: BACK OF CURB
FL: FLOW LINE
TA: TOP OF ASPHALT
EC: EDGE OF CONCRETE
NG: NATURAL GROUND
TB: TOP OF BANK
BB: BOTTOM OF BANK
RW: RETAINING WALL
— PROPERTY LINE
— CENTERLINE RIGHT-OF-WAY
— RIGHT-OF-WAY
— MATCH LINE
— EASEMENT LINE
— FENCE
— GUARDRAIL
— OHU OVERHEAD UTILITY LINE
— SS UNDERGROUND SANITARY SEWER LINE
— UGE UNDERGROUND ELECTRICAL LINE
— FOP UNDERGROUND FIBER OPTIC LINE
— VW UNDERGROUND WATER LINE
— SD UNDERGROUND STORM SEWER LINE
— BTL UNDERGROUND TELEPHONE LINE
— GAS UNDERGROUND GAS LINE
— MAJOR CONTOUR
— MINOR CONTOUR
— LIMITS OF TOPOGRAPHIC AREA
NO PARKING AREA

LEGEND

GRADING NOTES:

- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.
- ALL PROPOSED SPOT ELEVATIONS IN PAVED AREAS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.
- THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.
- UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.
- THE GENERAL CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. SEE SPEC PLAN ON SHEET CL.11 FOR LIMIT OF DISTURBANCE. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
- ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION PER THE DRAWINGS AND PROJECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.
- PER TOWN OF AMSTERDAM STANDARDS, ALL STORMWATER RUNOFF SHALL BE CONTAINED AND COLLECTED ON-SITE TO BE CONVEYED UNDERGROUND TO THE EXISTING STORMWATER MANAGEMENT SYSTEM.

SITE SPECIFIC GRADING GENERAL NOTES:

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY EXISTING SITE IMPROVEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT NECESSARILY LIMITED TO:
(A) EXISTING CURB THAT MAY BE DISTURBED
(B) EXISTING ASPHALT THAT MAY BE DISTURBED
(C) EXISTING LANDSCAPING
(D) EXISTING LIGHT STANDARD(S) AND WIRING
(E) DEVELOPMENT SIGNS AND WIRING
PRIOR TO CONSTRUCTION THE TOWN OF AMSTERDAM MUST BE NOTIFIED BY THE CONTRACTOR THE DELIVERY LOCATION OF EXCESS EARTHWORK MATERIALS.

| PROPERTY LINE TABLE | | |
|---------------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1(M) | N 05°48'47" W | 9.32' |
| L2(M) | N 45°56'40" E | 15.73' |
| L3(M) | S 85°32'66" W | 4.27' |
| L4(M) | N 06°13'36" W | 6.06' |



sevan
ENGINEERING, P.C.

3025 Highland Parkway | Suite 850
Downers Grove, IL 60515
www.sevanengineering.com

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|---------------------------|
| 0 | 08-01-2023 | PLANNING BOARD SUBMISSION |

CONSULTANT

SEAL

CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**4825 STATE HIGHWAY 30
AMSTERDAM, NY, 12010**

(MONTGOMERY)

SHEET TITLE

GRADING PLAN

SHEET MANAGEMENT

PROJECT NO.: 230
DATE: 2023.07.21
CRITERIA: V2021.09-134
PROJECT MANAGER: M. BAUM

SHEET NUMBER

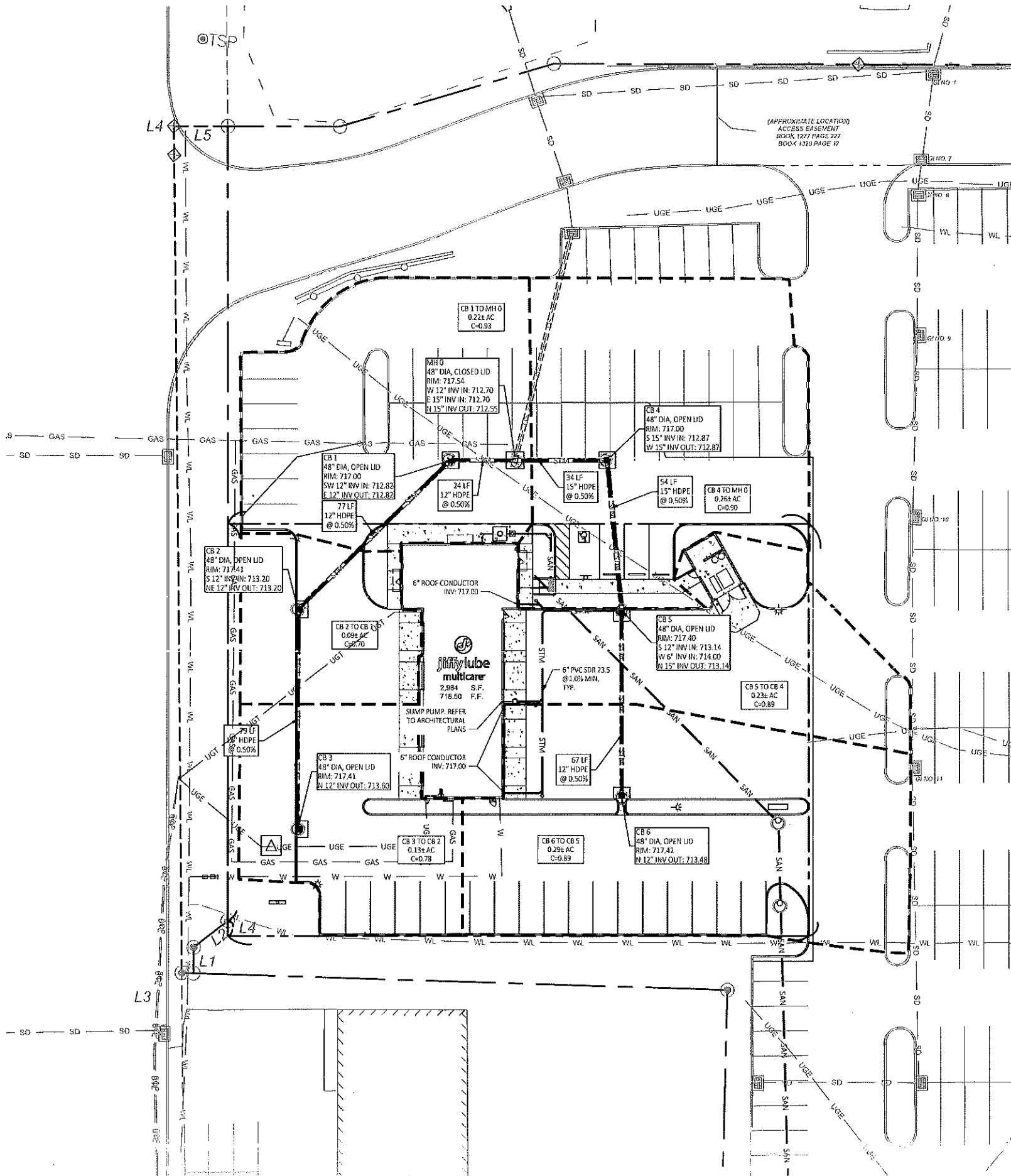
C1.30

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STORM WATER MANAGEMENT PLAN

SCALE: 1" = 20'-0"



PROPOSED:

| | |
|--------------------|-----|
| STORM SEWER | STM |
| ROOF DRAIN | RD |
| SANITARY SEWER | SAN |
| WATER MAIN/SERVICE | W |
| GAS MAIN/SERVICE | GAS |
| ELECTRIC SERVICE | UGE |
| TELEPHONE SERVICE | UGT |
| OVERHEAD UTILITIES | OH |
| STORM MANHOLE | STM |
| CATCH BASIN | CB |
| YARD BASIN | YB |
| FLARED END SECTION | LES |
| SANITARY MANHOLE | SMH |
| SANITARY CLEANOUT | SCO |
| TRANSFORMER | TRF |
| LIGHT POLE | LP |
| WATER VALVE | WV |
| FIRE HYDRANT | FH |
| FUEL VENT | FV |
| AIR TOWER | AT |

EXISTING:

| | |
|--|---------------------------------|
| FOUND MONUMENT AS-NOTED | LB |
| SET MONUMENT AS-NOTED | P.O.B. |
| COMPUTED POINT | SQ.FT. |
| TEMPORARY BENCHMARK | TBM |
| UTILITY POLE | m |
| ELECTRICAL CABINET | BOG |
| ELECTRICAL MANHOLE | FL |
| GUY ANCHOR | TA |
| GENERATOR | EC |
| LIGHT POLE | NG |
| SANITARY SEWER MANHOLE (SMH) | TB |
| GRADED INLET (GI) | BB |
| DRAINAGE OUTLET AS-NOTED | RW |
| STORM SEWER MANHOLE | PROPERTY LINE |
| MANHOLE | CENTERLINE RIGHT-OF-WAY |
| TELEPHONE MANHOLE | RIGHT-OF-WAY |
| TELEPHONE PEDESTAL | MATCH-LINE |
| GAS METER | EASEMENT LINE |
| GAS VALVE | FENCE |
| MONITORING WELL | GUARDRAIL |
| WATER VALVE | OVERHEAD UTILITY LINE |
| FIRE HYDRANT | SS |
| BOLLARD | UNDERGROUND SANITARY SEWER LINE |
| SIGN | UGE |
| TRAFFIC SIGNAL POLE | UNDERGROUND ELECTRICAL LINE |
| TRASH COMPACTOR | FOP |
| MEASURED/RECORDED DIMENSION | UNDERGROUND FIBER OPTIC LINE |
| (R) | UNDERGROUND WATER LINE |
| RECORD DIMENSION | SD |
| RECORD DIMENSION | 6TL |
| FINAL SUBDIVISION PLAN | UNDERGROUND TELEPHONE LINE |
| LOWE'S HOME CENTERS, INC. PH-1: D13577 | GAS |
| RECORD DIMENSION | MAJOR CONTOUR |
| INSTRUMENT #2007-24230 BOOK 1615 PG 28 | MINOR CONTOUR |
| PARKING SPACE(S) | LIMITS OF TOPOGRAPHIC AREA |
| RIGHT-OF-WAY | NO PARKING AREA |
| N/F | |
| B.H.L. | |
| NG | |
| CONC. | |

LEGEND

STORM STRUCTURE NOTES:

- SEE DETAILS ON SHEET C5.02.
- ALL STORM STRUCTURES TO BE INSTALLED IN ACCORDANCE WITH LOCAL STANDARDS AND DETAILS UNLESS NOTED OTHERWISE.
- PROVIDE INLET FILTERS FOR ALL INLETS. FILTER SHALL BE REGULARLY MAINTAINED AND REMAIN IN PLACE UNTIL FINAL GRADES HAVE BEEN ESTABLISHED. REFER TO SHEET C1.11.
- ALL STRUCTURE FRAME AND GRATES TO BE STANDARD UNLESS NOTED OTHERWISE.
- NORTHING AND EASTING PER COORDINATE SYSTEM PROVIDED IN THE SURVEY AUTOCAD FILE PROVIDED BY BLEW & ASSOCIATES, P.A.
- ALL CATCH BASINS AND INLETS SHALL HAVE UNDERDRAINS INSTALLED, WRAPPED IN GEOTEXTILE AND PLACED IN THE SEWER TRENCH, NOT MORE THAN 3 FEET BELOW THE TOP OF THE CASTING.

UTILITY EASEMENT NOTE:

REFER TO THE BOUNDARY/TOPOGRAPHIC SURVEY PREPARED BY BLEW & ASSOCIATES, P.A. FOR INFORMATION REGARDING EXISTING EASEMENTS.

STORMWATER DETENTION NOTE:

THIS OUTLOT IS PART OF THE LOWE'S DEVELOPMENT. THE EXISTING DETENTION WAS ORIGINALLY DESIGNED TO INCLUDE THE DEVELOPMENT OF THIS OUTLOT. NO ADDITIONAL DETENTION REQUIRED.

UTILITY CROSSING NOTE:

SEE SHEET C1.40 FOR UTILITY CROSSINGS.

| PROPERTY LINE TABLE | | |
|---------------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1(M) | N 05°48'47" W | 9.32' |
| L2(M) | N 45°56'40" E | 15.73' |
| L3(M) | S 85°32'66" W | 4.27' |
| L4(M) | N 06°13'36" W | 6.06' |



REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|---------------------------|
| 0 | 08.01.2023 | PLANNING BOARD SUBMISSION |

CONSULTANT

SEAL

CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**4825 STATE HIGHWAY 30
AMSTERDAM, NY, 12010**

(MONTGOMERY)

SHEET TITLE

**STORM WATER
MANAGEMENT PLAN**

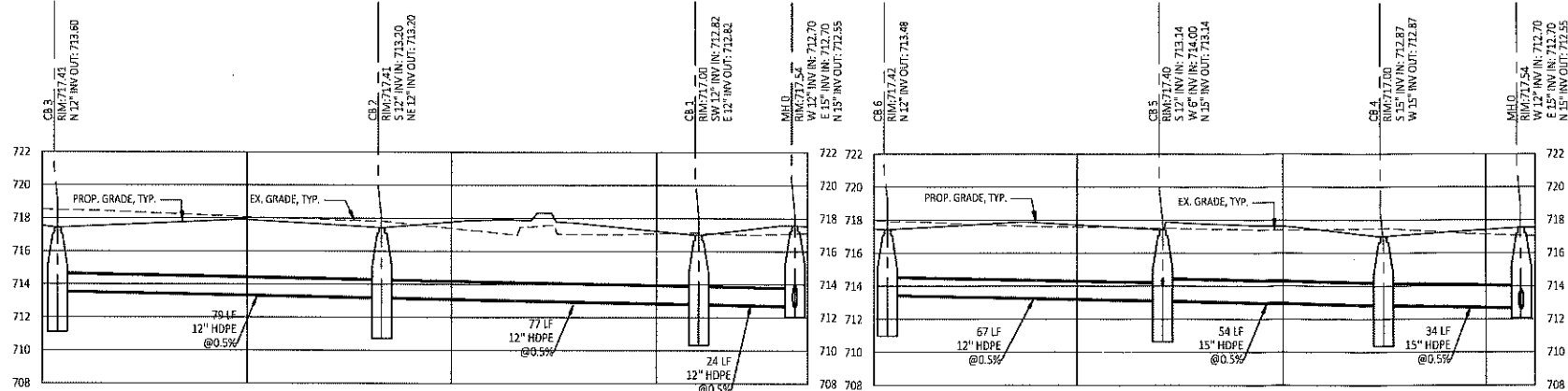
SHEET MANAGEMENT

| | |
|------------------|--------------|
| PROJECT NO. | 230 |
| DATE: | 2023.07.21 |
| CRITERIA: | V2021.09-31A |
| PROJECT MANAGER: | M. BAUM |

SHEET NUMBER

C1.31

FILE NAME: Y:\Shared\Clients\Jiffy Lube\Projects\209 - Amsterdam NY\05\Continued\CI.32.dwg LAST SAVED BY: Kross, Doug SAVED DATE: 7/31/2023 5:28 PM PLOTTED: 8/1/2023 3:15 PM



STORM WATER MANAGEMENT PROFILES

HORIZONTAL SCALE: 1" = 20'-0"
VERTICAL SCALE: 1" = 5'-0"

| Pipe Location | | Tributary Area | | | | Intensity | | | Runoff | Pipe Design | | | | | | | | | | Profile | | | | | | |
|---------------|------|----------------|------|--------------|---------------|----------------------|-------------|---------------------|---------------|--------------------------|------------------------|--------------------|--------------------|----------------------------|----------------------------|------------------------------|-----------------------|--------------------------|------------------|--------------------|----------------|------------|------------------|----------------|-------|--|
| From | To | Area (acre) | C | AC (acre) | SAC (acre) | Inlet Tc (min) | Tc (min) | I (10yr) (in/hr) | Flow (cfs) | Pipe Length (feet) | Pipe Dia. (inch) | Pipe Slope % | Hyd. Slope % | Q _{full} (cfs) | V _{full} (fps) | V _{design} (fps) | Depth of Flow % | Time in Pipe (min) | Rim Elevation | Water Surface Elev | | | Pipe Invert Elev | | | |
| | | | | | | | | | | | | | | | | | | | | Up Stream | Down Stream | MH Loss | Up Stream | Down Stream | Drop | |
| CB 3 | CB 2 | 0.13 | 0.78 | 0.10 | 0.10 | 5 | 5.00 | 8.30 | 0.84 | 79' | 12" | 0.50% | 0.50% | 2.73 | 3.47 | 3.12 | 38% | 0.42 | 717.59 TC | 713.98 | 713.68 | 0.00 | 713.60 | 713.20 | 0.00' | |
| CB 2 | CB 1 | 0.09 | 0.70 | 0.06 | 0.16 | | 5.42 | 6.14 | 1.01 | 77' | 12" | 0.50% | 0.50% | 2.73 | 3.47 | 3.51 | 46% | 0.37 | 716.84 | 713.68 | 713.57 | | 713.20 | 712.82 | | |
| CB 1 | M410 | 0.22 | 0.93 | 0.20 | 0.37 | | 5.79 | 6.01 | 2.22 | 24' | 12" | 0.50% | 0.50% | 2.73 | 3.47 | 4.10 | 75% | 0.10 | 717.50 | 713.37 | 713.45 | | 712.82 | 712.70 | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CB 6 | CB 5 | 0.29 | 0.89 | 0.26 | 0.26 | 5 | 5.00 | 6.30 | 1.63 | 67' | 12" | 0.50% | 0.50% | 2.73 | 3.47 | 3.08 | 61% | 0.29 | 718.19 | 714.11 | 713.97 | | 713.49 | 713.14 | | |
| CB 5 | CB 4 | 0.23 | 0.89 | 0.20 | 0.48 | | 5.29 | 6.19 | 2.87 | 54' | 15" | 0.50% | 0.50% | 4.95 | 4.03 | 4.47 | 60% | 0.20 | 716.64 | 713.97 | 713.86 | | 713.14 | 712.87 | | |
| CB 4 | M410 | 0.26 | 0.9 | 0.23 | 0.70 | | 5.49 | 6.12 | 4.26 | 34' | 15" | 0.50% | 0.50% | 4.95 | 4.03 | 4.79 | 79% | 0.12 | 716.93 | 713.86 | 713.69 | | 712.87 | 712.70 | | |

STORM PIPE CAPACITY, 10 YEAR STORM

sevan
ENGINEERING, P.C.

Corporate Office:
3815 Highland Parkway | Suite 850
Downers Grove, IL 60515
info@sevanllc.com www.sevanllc.com

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|---------------------------|
| 0 | 08.01.2023 | PLANNING BOARD SUBMISSION |

CONSULTANT

SEAL

CUSTOMER



PROJECT DESCRIPTION

JIFFY LUBE
MULTI-CARE SERVICES

PROJECT LOCATION

4825 STATE HIGHWAY 30
AMSTERDAM, NY, 12010
(MONTGOMERY)

SHEET TITLE

STORM WATER
PROFILES & DETAILS

SHEET MANAGEMENT

| | |
|---|--------------|
| PROJECT NO.: | 230 |
| DATE: | 2023.07.21 |
| CRITERIA: | V2021.09.304 |
| PROJECT MANAGER: | M. BAUM |
| THIS SHEET IS AN ORIGINAL DRAWING PROPERTY OF SEVAN ENGINEERING, P.C. ALL RIGHTS ARE RESERVED. NO PART OF THIS SHEET IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. DESIGNED BY: M. BAUM CHECKED BY: M. BAUM | |

SHEET NUMBER

C1.32



| NO. | DATE | DESCRIPTION |
|-----|------------|---------------------------|
| 0 | 08.01.2023 | PLANNING BOARD SUBMISSION |

NOTE: (*)

SANITARY CONNECTION INVERT BASED ON MINIMUM SLOPE. GC TO VERIFY EXISTING SANITARY LEAD INVERT DURING CONSTRUCTION AND NOTIFY OWNER'S CONSTRUCTION REPRESENTATIVE OF ANY DISCREPANCIES.

LITILITY EASEMENT NOTE:

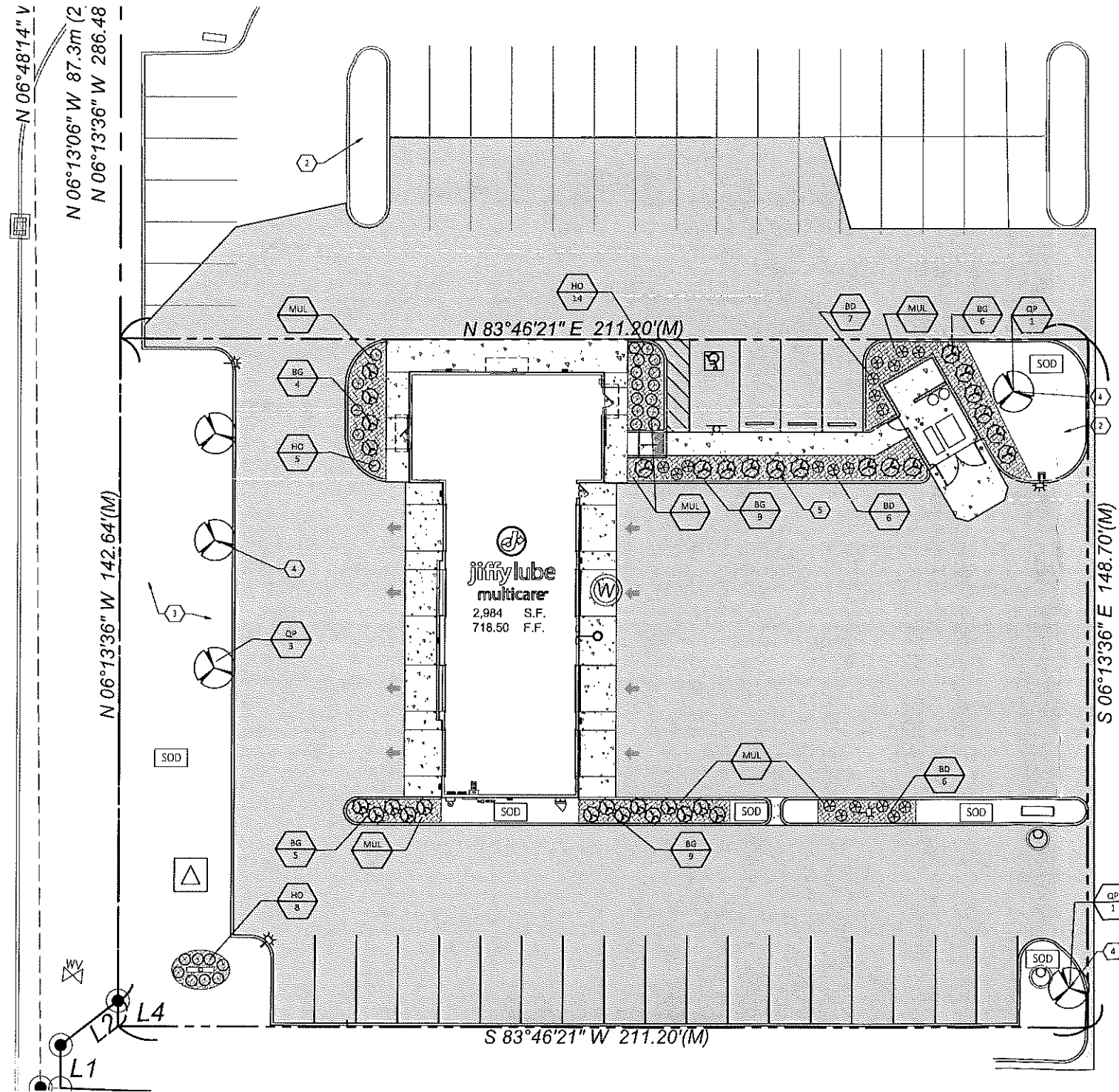
REFER TO THE BOUNDARY/TOPOGRAPHIC SURVEY PREPARED BY BLEW & ASSOCIATES, P.A. SURVEYING FOR INFORMATION REGARDING EXISTING EASEMENTS.



SCALE: 1" = 20'-0"

SCALE: 1" = 20'-0"

| LANDSCAPE MATERIAL LEGEND | | | | | |
|---------------------------|----------|---|---------------------|---------------------------|--|
| KEY | QUANTITY | BOTANICAL NAME COMMON NAME | SIZE CONDITION | NOTES | |
| | QP | QUERCUS PHELLOS WILLOW OAK SPECIMEN | 2.5'-3" cal. B&B | SHADE TREE | |
| | MUL | 3" HARDWOOD MULCH APPLY ON ALL PLANTING BEDS | | SEE PLANTING NOTES | |
| | SOD | KENTUCKY BLUEGRASS | | SEE SODDING NOTES | |
| | BD | BUDDLEIA D. 'ROYAL RED' ROYAL RED BUTTERFLY BUSH | 12", 15" 2 gal | RED BLOOMING PERENNIAL | |
| | HO | HEMEROCALLIS 'STELLE D' ORO' 'STELLA D' ORO' DAYLILY | 12", 15" 2 gal | YELLOW BLOOMING PERENNIAL | |
| | BG | BUXUS X. GREEN GEM GREEN GEM BOXWOOD | 24", 30" #5 gal | EVERGREEN HEDGE | |
| | 3 | | | EXISTING TREE | |



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

KEYED NOTES

- EXISTING LANDSCAPE MATERIAL TO REMAIN.
- EXISTING ADJACENT TREES TO REMAIN, SEE TREE PROTECTION DETAIL, SEE DETAIL 6/CS.00.
- EXISTING LANDSCAPE MATERIAL TO REMAIN.
- TREE TO BE PLANTED, SEE DETAIL 1/L1.20.
- SHRUBS TO BE PLANTED PER DETAIL 2.

GENERAL NOTES

- AT THE TIME OF SITE PREPARATION, CONTRACTOR TEAM (GENERAL, GRADING & LANDSCAPE) TO REVIEW ALL EXISTING VEGETATION, AND TAG MATERIALS TO BE SAVED OR RELOCATED.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- IF THE LANDSCAPE CONTRACTOR OBSERVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PROCUREMENT AND/OR INSTALLATION.
- LOCATE ALL UTILITIES PRIOR TO DIGGING, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES, DO NOT PLANT TREES, EVERGREENS, AND SHRUBS OVER ANY EXISTING OR PROPOSED UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. ANY ITEM OR AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- ALL PLANTING BEDS TO RECEIVE 6" MIN. OF PREPARED BACKFILL MIX. ALL INDIVIDUALLY PLANTED TREES AND SHRUBS TO BE BACKFILLED WITH WITH PREPARED BACKFILL MIX. PREPARED BACKFILL MIXTURES SHALL BE MIXED ON SITE, CONSISTING OF ONE PART TOPSOIL, ONE PART SOIL AMENDMENT, ONE PART SOIL FROM EXCAVATION.
- PLANT BEDS TO DRESSED WITH PRE-EMERGENT HERBICIDE AND MULCHED WITH 3" OF SHREDDED HARDWOOD MULCH. SEE DETAIL THIS SHEET.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS. BEDS TO BE LAID OUT AND APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PLANTING. LAWN TREES TO BE MULCHED WITH 4" DIAMETER BED WITH 3" MULCH RING.
- SEED OR SOD ALL AREAS, WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS OR PLANTING BEDS UNLESS OTHERWISE NOTED. SODDING SHALL NOT BEGIN UNTIL AREA HAS RECEIVED A FINISHED GRADE. SEE SOD/SEED NOTES.
- SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. SUBSTITUTED MATERIAL SHALL BE THE NEAREST EQUIVALENT SIZE, CONDITION AND GROWTH HABIT HAVING THE SAME ESSENTIAL CHARACTERISTICS WITH AN EQUITABLE ADJUSTMENT IN WHOLESALE PRICE.
- LANDSCAPING TO COMPLY WITH ALL APPLICABLE ZONING REGULATIONS OF THE CITY OF AMSTERDAM.

PLANTING NOTES

- ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD PER PROVIDED DETAILS
- PLANT MATERIAL SHALL CONFORM TO THE PLANT LIST AND KEYS ON THE DRAWINGS AND TO THE QUALITY STANDARDS OF 'AMERICAN STANDARD FOR NURSERY STOCK'. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS AND SIZES SPECIFIED IN THE SCHEDULE.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS, AND PARKING STALLS:
A. SHADE TREES: 5 FEET
B. ORNAMENTAL AND EVERGREEN TREES: 10 FEET (CRAB, PINE, SPRUCE, ETC.)
C. SHRUBS: 4 FEET
- ALL SHRUB PLANTINGS WITHIN SITE TRIANGLE AREAS TO BE MAXIMUM HEIGHT OF 30", AND FIRST BRANCHING FOR PROPOSED TREES TO BE MINIMUM OF 7' ABOVE PROPOSED GRADES.
- PLANTINGS SHALL BE FERTILIZED UPON INSTALLATION WITH A SLOW RELEASE GRANULAR COMMERCIAL TREE/SHRUB FERTILIZER, RATE PER MANUFACTURER'S INSTRUCTIONS. FERTILIZER TO MIXED WITH BACKFILL PREVIOUSLY DESCRIBED. FERTILIZER TABLETS ARE NOT ACCEPTABLE. PLANTING BEDS SHALL BE COVERED WITH PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. UNACCEPTABLE PLANT MATERIAL THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.

SEEDING/SODDING NOTES

SITE PREPARATION:

- SITE TO BE FINE GRADED BEFORE PERMANENT SEEDING OR SODDING.
- SOIL SHALL BE LOOSENED TO A DEPTH OF 4" INCHES BY DISCS, RAKING, ROTOTILLING OR OTHER ACCEPTABLE MEANS, AND RAKED SMOOTH AND FREE OF ROOTS AND STONES OVER 1"Ø.
- ENSURE PROPER DRAINAGE AND CHANNEL FLOW PROTECTION

SEED INSTALLATION

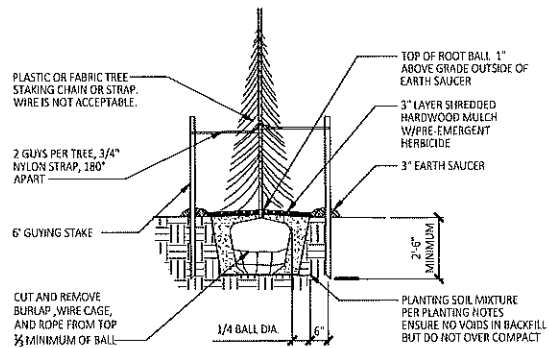
- APPLY STARTER FERTILIZER AT TIME OF SEEDING AT RATE RECOMMENDED BY MANUFACTURER. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL WATERING.
- SEED WITH COMMERCIAL TURF BLEND FROM APPROVED DOT LIST OF MIXTURES
- MAXIMUM SEEDING DEPTH SHOULD BE 1/4 INCH ON CLAY SOILS AND 1/2 INCH ON SANDY SOILS, WHEN USING OTHER THAN HYDROSEEDER METHOD OF APPLICATION. STRAW MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING (NON HYDROSEEDING) AT A RATE OF 140 LBS. ± (2 BALES) PER 1000 SF. MULCH MAY BE APPLIED BY HAND OR WITH A BLOWER.
- MULCH SHALL BE CLEAN, WELL SEASONED STRAW FREE OF SEEDS OR ROOTS OF NOXIOUS WEEDS
- IF HYDROSEEDING IS USED AND THE SEED, FERTILIZER AND MULCH ARE MIXED, THEY WILL BE MIXED ON SITE AND SEEDING SHALL BE IMMEDIATE WITHOUT INTERRUPTION. MULCH FOR HYDROSEEDING SHALL BE WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000 LBS. / ACRE.

SOD INSTALLATION

- ALL SOD AND INSTALLATION TECHNIQUES SHALL ADHERE TO TURFGRASS PRODUCERS INTERNATIONAL, GUIDELINE SPECIFICATIONS, CURRENT EDITION.
- SODDING IS TO BE DONE IN EARLY SPRING OR EARLY FALL
- SOD SHALL BE INSTALLED WITHIN 24 HOURS OF ARRIVAL AT THE SITE
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES GREATER THAN 3:1 OR IN DRAINAGE SWALES SOD SHALL BE STAKED
- APPLY STARTER FERTILIZER AT TIME OF SODDING AT RATE RECOMMENDED BY MANUFACTURER. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL WATERING

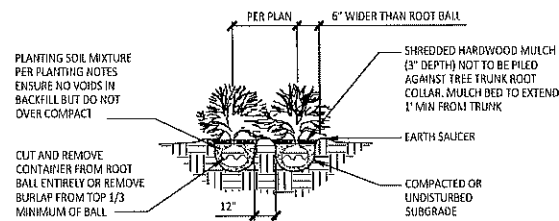
MAINTENANCE:

- WATER 1 INCH MIN. WITHIN THE FIRST HOUR OF SOD OR SEED INSTALLATION BEGIN IRRIGATION SYSTEM DURING THE FOLLOWING 3 DAYS KEEPING THE SODDED OR SEEDED AREA MOIST.
- CONTINUED MAINTENANCE (MOWING, FERTILIZATION, WEEDING, ECT.) OF THE SODDED OR SEEDED AREA SHOULD BE PROVIDED BY A PROFESSIONAL LANDSCAPE MAINTENANCE CONTRACTOR.



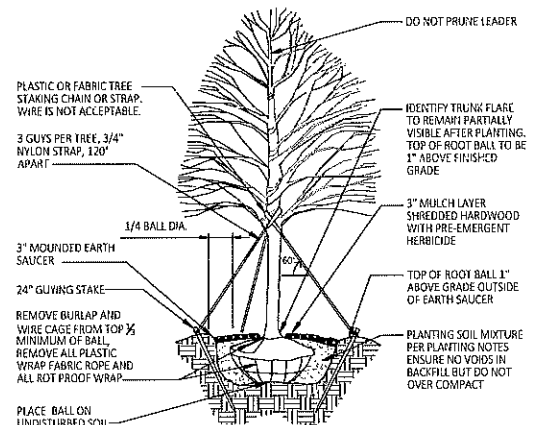
EVERGREEN TREE PLANTING

SCALE: NO SCALE



TYPICAL SHRUB PLANTING

SCALE: NO SCALE



DECIDUOUS TREE PLANTING

SCALE: NO SCALE

| PROPERTY LINE TABLE | | |
|---------------------|---------------|----------|
| LINE | BEARING | DISTANCE |
| L1(M) | N 05°48'47" W | 9.32' |
| L2(M) | N 45°56'40" E | 15.73' |
| L3(M) | S 85°32'66" W | 4.27' |
| L4(M) | N 06°13'36" W | 6.06' |



sevan
ENGINEERING, P.C.

Corporate Office:
3935 Highland Parkway | Suite 850
Downers Grove, IL 60515
info@sevan.com sevan.com

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|---------------------------|
| 0 | 08.01.2023 | PLANNING BOARD SUBMISSION |

CONSULTANT

SEAL

CUSTOMER



PROJECT DESCRIPTION

JIFFY LUBE
MULTI-CARE SERVICES

PROJECT LOCATION

4825 STATE HIGHWAY 30
AMSTERDAM, NY, 12010
(MONTGOMERY)

SHEET TITLE

LANDSCAPE PLAN,

SHEET MANAGEMENT

| | |
|------------------|--------------|
| PROJECT NO.: | 230 |
| DATE: | 2023.07.21 |
| CRITERIA: | V2021.09-134 |
| PROJECT MANAGER: | M. BALIM |

DESIGNED BY: M. BALIM
CHECKED BY: M. BALIM
APPROVED BY: M. BALIM
DATE: 08/01/2023

SHEET NUMBER

L1.20

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
assigned by the MCPB upon
acceptance of referral for review

This Referral must be received **SEVEN CALENDAR DAYS** prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
Old County Courthouse,
PO Box 1500, Fonda, New York 12068
Phone: 518-853-8334
Fax: 518-853-8336

FROM: Municipal Board: Town of Florida Town Board
Referring Officer: Emily Staley, Town Clerk
Mail original resolution to: 214 Fort Hunter Road
Amsterdam, NY 12010

1. Applicant: Town of Florida 2. Site Address: N/A

3. Tax Map Number(s): N/A 4. Acres: _____

5. Is the site currently serviced by public water? ☐ Yes ☐ No

6. On-site waste water treatment is currently provided by: ☐ Public Sewer or ☐ Septic System

7. Current Zoning: _____ 8. Current Land Use: _____

9. Project Description: Local Law #1 of 2023, a Local Law amending the Town of Florida Zoning Ordinance by amending provisions relating to Solar Energy Systems

10. MCPB Jurisdiction:

| | |
|--|---|
| <input checked="" type="checkbox"/> Text Adoption or Amendment | <input type="checkbox"/> Site is located within 500' of: _____ (Specify by Name) |
| <input type="checkbox"/> a municipal boundary. | |
| <input type="checkbox"/> a State or County thruway/highway/roadway | |
| <input type="checkbox"/> an existing or proposed State or County park/recreation area | |
| <input type="checkbox"/> an existing or proposed County-owned stream or drainage channel | |
| <input type="checkbox"/> a State or County-owned parcel on which a public building or institution is situated | |
| <input type="checkbox"/> a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances) | |

11. PUBLIC HEARING: Date: 9/18/2023 Time: 6:00PM Location: 214 Fort Hunter Road

Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. ☐ Text Adoption or ☒ Amendment Referring Board: Town of Florida Town Board

☐ Comprehensive Plan ☐ Local Law ☒ Zoning Ordinance ☐ Other _____

13. ☐ Zone Change Referring Board: _____

Proposed Zone District: _____ Number of Acres: _____

Purpose of the Zone Change: _____

14. ☐ Site Plan ☐ Project Site Review Referring Board: _____

Proposed Improvements: _____

Proposed Use: _____

Will the proposed project require a variance? ☐ Yes ☐ No Type: ☐ Area ☐ Use

Specify: _____

Is a State or County DOT work permit needed? If Yes : ☐ State or ☐ County ☐ No

Specify: _____

15. ☐ **Special Permit**

Referring Board:

Section of local zoning code that requires a special permit for this use: _____

Will the proposed project require a variance? ☐ Yes ☐ No Type: ☐ Area ☐ Use

16. **Variance**

Referring Board:

☐ Area ☐ Use

Section(s) of local zoning code to which the variance is being sought: _____

Describe how the proposed project varies from the above code section: _____

SEQR Determination

Action:

Finding:

- Check
One
- ☐ Type I
 - ☐ Type II
 - ☐ Unlisted Action
 - ☐ Exempt

- ☐ Positive Declaration – Draft EIS
- ☐ Conditional Negative Declaration
- ☐ Negative Declaration
- ☐ No Finding (Type II Only)

SEQR determination made by (Lead Agency): SEQRA not done at this time Date: _____

REQUIRED MATERIAL

Send 13 copies of a “Full Statement of the Proposed Action” which includes:

All materials required by and submitted to the referring body as an application }

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 l and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Emily Staley - Town Clerk 518-843-6372 ext 1

Emily Staley

Name, Title & Phone Number of Person Completing this Form

October 2, 2023

Transmittal Date

Local Law No. ____ of the year 2023
Town of Florida, County of Montgomery
A local law amending the Town of Florida Zoning Ordinance by
amending provisions relating to solar energy systems

Section 1. Legislative Intent

It is the intent of this local law to amend the Town of Florida Zoning Ordinance, as may have been amended from time to time, to include provisions that address the installation of solar energy systems, as defined in this law, within the municipal boundaries of the Town of Florida.

Section 2. Authority

This local law is adopted by the Town Board of Town of Florida (hereinafter referred to as the “Town Board”) pursuant to its authority to adopt local laws under Article IX of the New York State Constitution; Articles 2 and 3 of the Municipal Home Rule Law; and Article 16 of the Town Law, particularly sections 261 and 263 which authorize the Town to adopt zoning provisions that advance and protect the health, safety, and welfare of the community, and “to make provision for, so far as conditions may permit, the accommodation of solar energy systems and equipment and access to sunlight necessary therefor.”

Section 3. Amendment

(A) Article VIII of the Town of Florida Zoning Ordinance is hereby amended by repealing and replacing the section, designated as “Section 45.5”, to said Article VIII to read as follows:

Section 45.5: Solar Energy Systems and Equipment

A. Town Policy Statement

1. Introduction:

The following policy statement regarding solar energy systems is in addition to, and does not necessarily supersede, the general land use policies set forth in the Zoning Ordinance. Where policies conflict, the policies set forth in this section control only as they pertain to solar energy systems.

2. In General:

The Town of Florida supports sustainable renewable energy sources such as solar energy and does not seek to discourage such energy sources to be installed in the Town. However, like any land use, solar energy systems have impacts on the community and neighboring properties which the Town seeks to mitigate so as not to adversely effect the Town’s unique character nor impinge on properties within the Town. As such, the Town finds that small scale solar energy systems which are accessory to the primary use of the parcel and are installed for the primary purpose of

supplying electricity to the buildings located on that parcel is in keeping with the Town's Comprehensive Plan and land use policies. Such accessory systems are to be encouraged so long as they do not impact neighboring properties, are safely installed, do not impair emergency access and are removed when no longer used.

3. Specific Policies:

With respect to what is defined herein as Large Scale Solar Energy Systems, the Town is concerned with the potential scale and location of such Systems not fitting in with the existing community character. However, with proper guidelines, criteria and planning, Large Scale Solar Energy Systems of a limited size (see Section C below) may be appropriate but would have to be reviewed on a case by case basis. These Systems are to be encouraged and allowed so long as they fit in with the Town's community character, do not impact neighboring properties, are safely installed and operated, and do not impair scenic views or vistas, future growth, or economic development of the Town, and are appropriately and promptly removed upon decommissioning. Placement of Large Scale Solar Energy Systems in existing fields or areas that do not require significant deforestation or clearcutting and are well-screened from public views as well as nearby properties would increase the possibility of compatibility with the Town's community character and decrease the possibility of significant adverse impacts. It is recognized by the Town that certain scenic views and vistas are important to the Town and should be preserved since they significantly contribute to the Town's rural residential character. The layout of the solar panels and equipment should utilize existing natural features for screening and should avoid detrimental impacts to important natural resources such as wetlands, streams and other surface waters, prime agricultural soils, areas important for outdoor recreation and tourism, historic districts and buildings, home and property values, and the aesthetics of the Town's natural environment. The following regulations are intended to ensure that Large Scale Solar Energy Systems are only allowed of a scale, location and plan that appropriately recognizes the aforementioned land use policies, as well as the policies set forth in the Town's Comprehensive Plan and Zoning Ordinance.

B. Small-Scale Solar Collector System - Solar as an Accessory Use/Structure

1. Solar: Roof-Mounted Energy Systems.

- a) Roof Mounted Solar Energy Systems that use the electricity onsite are permitted as an accessory use in all zoning districts of the Town of Florida when attached to any lawfully permitted building or structure.
- b) Height. Solar Energy Systems when mounted to a roof shall not exceed maximum height restrictions within the zoning district it is located and are provided the same height exemptions granted to building-mounted mechanical devices or equipment.
- c) Aesthetics. Roof-Mounted Solar Energy System installations shall incorporate, when feasible, the following design requirement: Panels facing the front yard must be mounted at the same angle as the roof's surface with a maximum distance of 18 inches between the

roof and highest edge of the system. All Solar Panels and Solar Equipment shall be made of such materials so as to not create or be conducive to glare.

d) Roof-Mounted Solar Energy Systems that use the energy onsite shall be exempt from site plan or special permit review and shall be allowed upon issuance of a building permit by the Town's Code Enforcement Officer/Building Inspector.

e) Plans prepared in accordance with the New York State Building Code shall be submitted to the Town's Code Enforcement Officer/Building Inspector and a permit issued prior to the commencement of installation. All electrical work shall be performed and/or inspected by an electrician or an electrical inspector licensed in New York State.

2. Ground-Mounted Solar Energy Systems.

a) Ground-Mounted Solar Energy Systems that use the electricity primarily onsite are permitted as accessory structures subject to issuance of a special use permit and site plan review, through the Planning Board, in all zoning districts of the Town of Florida.

b) Height and Setback. Ground-Mounted Solar Energy Systems shall adhere to the height and setback requirements of the underlying zoning district in which they are located.

c) All such Systems shall be installed in side or rear yards at an adequate distance from adjacent properties and in no case less than 20 feet from all property lines.

d) All such Systems shall be located in such a manner so that the System is adequately screened with respect to neighboring properties so that the views of the System from neighboring properties, particularly residences, are not a significant detraction. Screening can be accomplished by utilizing existing buildings and vegetation as well as deer resistant evergreen plantings when necessary. Any screening which is proposed by the applicant as part of the application or required by the Town Board as part of the approval shall be fully installed prior to the issuance of a certificate of compliance and prior to any operation of the System. All Solar Panels and Solar Equipment shall be made of such materials so as to not create or be conducive to glare.

e) The location of Ground-Mounted Systems shall not interfere with adequate parking or with ingress and egress to the property on which it is located. Ground-Mounted Solar Energy Systems in all districts must allow room for emergency services access to all buildings on the property or neighboring properties. The systems must be at least 20 feet from any existing structures and must not block any existing roadways, lanes or other pathways to buildings. The intent of this section is to ensure adequate emergency access.

f) Once site plan approval is received, plans prepared in accordance with the New York State Building Code shall be submitted to the Town Code Enforcement Officer/Town Building Inspector and a permit issued prior to the commencement of installation. All electrical work shall be performed and/or inspected by an electrician or an electrical inspector in New York State prior to final approval.

3. General Directions for Accessory Solar Energy Systems.

- a) Roof-Mounted Solar Energy Equipment such as batteries and control panels (except individual on/off switches) shall be installed inside walls and attic spaces to reduce their visual impact. Ground Mounted Solar Energy Equipment shall be located in out-buildings where feasible or otherwise in such a manner to reduce their visual impact. Electric lines or wires from the System or Equipment to buildings should be installed below ground.
- b) Decommissioning: If the Solar Energy Equipment is no longer in use for more than 18 months or becomes obsolete, the property owner shall remove the Solar Energy Equipment and restore the property within a reasonable time-period after non-use. Failure to do so shall constitute a zoning violation and may be enforced pursuant to Article XI of the Zoning Ordinance.

C. Solar – Large/Utility Scale

Large Scale Solar Energy Systems are permitted only in the C-1 Commercial, C-2 Commercial, Industrial Business Parks, and Natural Products zoning districts of the Town of Florida and only upon issuance of a special use permit and site plan approval and compliance with the general standards and requirements in these regulations as well as the following requirements and standards. As is set forth below, the size of a Large Scale Solar Energy System is restricted in the Town of Florida. The reason for restriction is that the Town's current community character and economic well-being is dependent upon its natural resources and setting, its scenic views, its historic places and buildings, its agricultural history and its outdoor recreation and tourism opportunities. The future of the Town in terms of both its economy and the welfare of its residents depends on the continual preservation and promotion of such vital aspects of the Town. In this regard, the Town Board specifically finds that any Large Scale Solar Energy System greater in size than what is allowed by special use permit or otherwise as is set forth herein will be contrary to the community character and the future economic viability of the Town and would unreasonably burden the residents, taxpayers and the electric rate payers of the Town of Florida. The aforementioned policies and findings are based upon, supported by, and consistent with the Town of Florida's Comprehensive Plan.

1. Application Requirements.

Large Scale Solar Energy Systems are permitted through the issuance of a special use permit within the C-1 Commercial, C-2 Commercial, Industrial Business Parks, and Natural Products Districts, subject to the requirements set forth in this section, including site plan approval by the Planning Board. Applications for a special use permit shall be submitted to the Town Board for an initial review of completeness; once the Town Board determines that an application is complete, it will refer the application to the Planning Board for a report and recommendation; the Planning Board shall submit its report and recommendation to the Town Board within forty five days after receiving the referral; the Town Board will then commence its review and action, which can include approval, approval on conditions, or denial; following approval, or approval on conditions, the application will be subject to site plan review by the Planning Board.

a) Special Use Permit Application Requirements. For a Large Scale Solar Energy System, both the site plan and special permit applications, and required application materials, fees and submissions, are to be used in keeping with the relevant Articles of this Law, and supplemented by the following requirements:

- 1) If the property of the proposed project is to be leased, legal consent between all parties, specifying the use(s) of the land for the duration of the project, including easements and other agreements, shall be submitted.
- 2) Blueprints showing the layout of the Solar Energy System signed by a Professional Engineer or Registered Architect shall be required.
- 3) The equipment specification sheets shall be documented and submitted for all photovoltaic panels, significant components, mounting systems, and inverters that are to be installed.
- 4) A full environmental assessment form, with Part 1 completed, and the visual assessment form addendum.
- 5) Stormwater runoff calculations and drainage plan.
- 6) The location and extent of natural resources and other significant features of the site including but not limited to the following: streams, wetlands, ponds, prime agricultural soils, flood plain, rock outcroppings, extent of clearing of mature trees, existing or proposed easements or right-of-ways.
- 7) Landscaping/Screening Plan. Such plan shall describe the methods and types of screening that is proposed, including but not limited to existing vegetation, topography, fencing and structures, and also detailing the number, location, size and species of vegetation to be planted on site and the size and extent of berms. Such plan shall also include appropriate performance criteria specifying minimum vegetation sizes and measures to be taken in the event that the proposed vegetation fails to survive, flourish, or otherwise meet said performance criteria throughout the lifetime of the project.
- 8) Property Operation and Maintenance Plan. Such plan shall describe continuing photovoltaic maintenance and property upkeep including landscaping, mowing and trimming as well as any agricultural operations that will occur on the site or property once the System is installed.
- 9) The Applicant shall provide written confirmation that the electric grid has the capacity to support the energy generated from the proposed Large Scale Solar Energy System at its maximum peak design. A location map of the connection point to the grid shall be provided along with a description of any easements or

right-of-ways, clearing, infrastructure, appurtenances, and equipment that may be necessary or required to connect to the grid.

10) Decommissioning Plan. To ensure the proper removal of Solar Energy Systems and Equipment, a Decommissioning Plan shall be submitted as part of the application. Compliance with this plan shall be made a condition of the issuance of a special use permit under this Section. The Decommissioning Plan must identify who will be responsible for the removal of the System after the Large Scale Solar Energy System is no longer in use. The Decommissioning Plan shall demonstrate how the removal of all infrastructure and the remediation of soil and vegetation shall be conducted to return the parcel to its original state prior to installation. The Plan shall also include a timeline for commencing and completion of decommissioning and terms for enforcement of same. A cost estimate detailing the projected cost of executing the Decommissioning Plan shall be prepared by a Professional Engineer or Contractor. Cost estimations shall take into account inflation. Removal of Solar Energy Systems must be completed in accordance with the Decommissioning Plan. The Town shall also require a decommissioning bond or other financial security in which to finance the cost of such removal and restoration if not removed by the party designated in the plan as the party responsible for removal of the System within the time specified for removal in the Decommissioning Plan.

2. Specific Standards for Large Scale Solar Systems as a Special Use.

a) Height and Setback. The Solar Energy System shall have a maximum height of twenty (20) feet from ground elevation and shall be setback at a minimum of five hundred (500) feet from all of the parcel's boundary lines and two hundred (200) feet from all wetlands, ponds and streams. Buildings and accessory structures other than Solar Energy Equipment, if any, shall adhere to the height and setback requirements of the underlying zoning district.

b) Lot and System Size. Large-Scale Energy Systems shall only be located on lots with a minimum lot size of ten (10) acres. The size of the Solar Energy System shall be limited to a maximum of 5 MW of electrical energy generation per design at peak levels of operation or the land surface area covered by the Solar Energy System including internal access roads, Solar Panels and all System components and Solar Equipment, shall not encompass more than twenty-five (25) acres of the lot regardless of whether the System is contiguous or noncontiguous.

c) Lot Coverage. For purposes of this section, the surface area covered by Solar Panels, Solar Equipment and all System components including internal access roads, shall be included in total lot coverage. If the area in which the Solar Energy System is to be placed is leased, then the terms "lots" and "entire lot size" shall mean the land area that is leased. A Large Scale Solar Energy System shall not exceed the maximum lot coverage of the lot on which it is installed as follows:

- For lots consisting of 10 to 15 acres, the maximum total lot coverage shall be 1/3 (33.3%) of the entire lot size.

- For lots consisting of 15 to 25 acres, the maximum total lot coverage shall be 2/5 (40%) of the entire lot size.

- For lots greater than 25 acres, the maximum total lot coverage shall be 1/2 (50%) of the entire lot size with a maximum system size as set forth in subsection b above.

d) No part of a Large Scale Solar Energy System shall be located above the elevation of 700 feet, along ridgelines, on hilltops, or on slopes greater than 12%.

e) All Solar Energy Systems shall be sited and screened in such a manner to have the least possible visual effect on neighboring properties, public roads and recreational areas, important scenic vistas and the general aesthetic environment. Screening by existing topography, trees and vegetation shall be incorporated to the maximum extent practicable and where not practicable screening must be installed such as vegetative berms or deer resistant evergreen plantings or a combination thereof.

- (i) A visual assessment report with simulated views of the post construction conditions, including the proposed landscaping plan, shall be submitted to the Planning Board. The visual assessment will use computer modeling and photography showing existing conditions to thoroughly assess the visibility of the solar array from key viewpoints which will be identified by the Planning Board, taking into account existing tree lines, surrounding topography, and proposed elevations. The visual assessment report shall be completed in accordance with the NYSDEC guidance on visual impact assessment pursuant to SEQRA.

f) Significant clearing of mature tree growth and hedgerows should be avoided to the maximum extent possible. Installation of Large Scale Solar Energy Systems on fields or land areas which do not require significant clearcutting is preferred. In no case shall the Solar Energy System require clearcutting of more than 9 acres. Once the land is cleared and the Solar Energy System is installed, the land disturbed must be reseeded or replanted with a combination of native plant species and native grass. Ground cover of gravel or other non-vegetative cover should only be used for access and internal roads to the maximum extent practicable.

g) Installation of Large Scale Solar Energy Systems on land areas which contain prime agricultural soils shall be avoided to the maximum extent possible. In no case shall the Solar Energy System cover more than 5 acres of prime agricultural soils.

h) The materials used for the Solar Energy System shall not be conducive to glare visible from beyond the lot's boundary lines. The Solar Energy System shall not generate noise or heat detectable from beyond the lot's boundary lines. The applicant shall demonstrate that any glare and heat to be produced by the Solar Energy System does not have a

significant adverse impact on neighboring properties or roadways by providing a glare analysis that is acceptable to the Planning Board.

i) All Large-Scale Solar Energy Systems shall be enclosed by fencing no less than 8 feet in height to prevent unauthorized access. Warning signs with the owner's contact information shall be placed on the entrance and perimeter of the fencing. The type of fencing shall be determined by the Town Board or Planning Board. The fencing may need to be setback from boundary lines and roads and further screened by any landscaping needed to avoid adverse aesthetic and safety impacts.

j) Any associated structure shall be screened, placed underground, depressed, earth bermed or sited below the ridgeline to the greatest extent feasible, particularly in areas of high visibility, and the same shall be noted in the Site Plan. Where feasible, all utilities serving the site shall be underground.

k) Battery Energy Storage systems for Large Scale Solar Systems are not permitted in the Town.

l) No artificial light is permitted, unless the same is required by a federal, state or local authority or regulation. Exterior lighting may be provided for associated accessory structures and access entrances as may be determined appropriate for security purposes only. If lighting is proposed a lighting plan shall be included with the Site Plan that is compliant with lighting standards set forth in the Zoning Ordinance.

m) Roadways within the site for solar access shall not be constructed of impervious materials and shall be designed to minimize the extent of roadways constructed and soil compaction, while providing sufficient ability, including but not limited to load bearing ability, to accommodate fire and other emergency apparatus. The layout, location, and number of access roads will be subject to site plan review.

n) Roadways must be properly maintained and kept free of debris and snow. Snow removal shall be within 24 hours of accumulation of a minimum of 6" of snow.

o) Review and approval of the application by the nearest fire department for accessibility of emergency vehicles and equipment is required prior to site plan review.

p) Any application under this Section shall meet any provisions, requirements and standards contained in the Zoning Ordinance that, in the judgment of the Town Board and Planning Board pursuant to their respective jurisdictions, are applicable to the Large Scale Solar Energy System Solar Energy System being proposed. If none of such requirements are applicable, the reviewing Boards may waive certain of the requirements under their respective review jurisdictions.

q) The Town Board may impose conditions on its approval of any special use permit and the Planning Board may impose conditions on its approval of any site plan under this

Section in order to enforce the standards referred to in this Section or in order to discharge its obligations under the State Environmental Quality Review Act (SEQRA).

3. Additional Requirements.

a) The owner or operator shall maintain general liability insurance coverage on any solar energy system in the amounts of \$1,000,000 for injuries and \$500,000 for property damages, naming the Town of Florida as additional insured.

b) If in the course of the delivery, installation, maintenance, dismantling, removal or transport of the solar energy system or any components thereof the property of the Town of Florida, including but not limited to roadways, shoulders, drainage structures, signage, guide rails, etc., is damaged by the efforts of the applicant or any agents thereof, the applicant shall, within 30 days of the damage, completely replace or repair all damage to the satisfaction of the Town.

c) Any damaged or unused components of the system shall be removed from the premises within 30 days and disposed of legally. All maintenance equipment and spare parts shall be kept in a designated storage area which is fenced and screened.

d) If the ownership of a solar energy system changes, the special use permit and site plan approvals shall remain in full force and effect providing all the conditions of the special use permit, including bonding, letters of credit or continuing certification requirements or obligations, including maintenance, continue to be obligations of successor owners. The change in ownership shall be registered with the Town Clerk with a copy to the Code Enforcement Officer/Building Inspector within 30 days of the change taking effect. The Town Clerk shall notify the Town Board of such change.

e) Any and all modifications, additions, deletions, or changes to the Solar Energy System, whether structural or not, shall be subject to the Town Board's approval as an amendment of the special use permit and/or site plan, except that such amendment shall not be required for repairs which become necessary in the normal course of use of such system.

f) An inspection report prepared by a duly qualified engineer licensed in the State of New York shall be required at the time of installation and every three years thereafter. The cost for this inspection shall be borne by the applicant and/or the current owner. The inspection report is required at the time of installation and in advance of powering the system for use. Thereafter, it shall be done to inspect all components of the solar energy system to ensure proper operation. The inspection report must be filed with the Code Enforcement Officer/Building Inspector. All recommendations for maintenance and repair contained in said inspection report shall be completed at the expense of the applicant/owner and shall be conducted within a written scheduled time frame agreed upon by the Code Enforcement Officer/Building Inspector.

g) No part of the Solar Energy System, including area of lot coverage, shall be used for the display of any advertising, decorative flags, streamers, or any other decorative items.

h) When any Solar Energy System is installed and before it becomes active, the owner of the site and/or the Solar Energy System must contact the Town's emergency responders departments to make arrangements for a meeting at the site to review the components of the array and to be educated on safety issues and procedures for emergency response. This shall include detailed discussion related to the location of labeled warnings, access to the site and information on emergency disconnection of the system. In addition, the Town Board may require a plan for installation regarding the location of placards which provide mutual aid responders with sufficient information to protect them when responding to calls on site.

i) Native grasses and vegetation shall be maintained below the arrays and shall not include use of herbicides.

j) Decommissioning: Large Scale Solar Energy Systems are considered abandoned after 18 months without electrical energy generation and must be removed from the property. Applications for extensions may be submitted to and are reviewed by the Town Board for a period of additional 6-month periods not to exceed a total of 18 additional months. The owner of a solar energy system shall annually, by January 15, file a declaration with the Town of Florida certifying the continuing safe operation of said system installed subject to these regulations, as well as the status notification set forth in subsection f above. Failure to file a declaration shall mean that the system is no longer in use and shall be considered abandoned. At the time that a system owner plans to abandon or discontinue operation of a solar energy system, such owner must notify the Town, in writing, of the proposed date of abandonment, or discontinuance of operations. In the event that a system owner fails to give notice, the system shall be deemed abandoned upon such discontinuance of operations. In any event, a Solar Energy System shall also be considered abandoned when it has not been used for the purpose for which it was permitted, for a period of 18 months. Upon abandonment or discontinuance of use, the system owner or operator shall in addition to complying with the decommissioning plan, assure, if not part of the approved decommissioning plan, physical removal of the Solar Energy System, and all accessory structures and/or equipment within 90 days from the date of abandonment or discontinuance of use. "Physically remove" shall include, but shall not be limited to: (i) removal of panels, collectors, support units (including all underground wiring), mounts, equipment shelters and security barriers from the property; (ii) proper disposal of the waste material from the site in accordance with local and state solid waste disposal regulations; and (iii) restoring the land area where the Solar Energy System was located to its natural condition including removal of footings/bases and reseeding disturbed land which shall include removal of buried utilities and roadways, except that any landscaping and grading may remain in the "after" condition. If the owner of the system fails to properly remove said Solar Energy System and associated structures and equipment within 90 days from the date of abandonment, the Town may exercise its option to remove said system at its own discretion upon notification to the owner of the system and the property owner, at the expense of the owner or owners for which the surety, as described below, shall be used. The applicant must provide the Town with written authority from the owner or owners of record for the subject property where the

Large Scale Solar Energy System is located to bind successors and assigns to allow the Town to enter onto the subject property to physically remove the system in the event that the party identified as the party responsible for removal of the System fails to timely remove the system in accordance with the requirement of this Section and the special use permit. Prior to commencement of construction of the approved Solar Energy System, the applicant shall provide the Town with a bond or other acceptable security in an amount determined by the Town Board, but in no case less than 125% of the cost for the removal of the system and remediation of the landscape, in the event the Town must remove the facility. The terms of the bond or other security shall be clear as to who is responsible for removal of the System, the time in which removal must occur, and when or upon what circumstances the security is to be transferred to the Town. The bond or security instrument shall also be in a form acceptable to the Town's legal counsel, which includes but is not limited to letter of credit, perpetual bond, or any combination thereof. The amount of the bond or security shall be reviewed from time to time by the Town Board and shall be adjusted if deemed necessary by the Town Board. If the amount of the bond or security is adjusted, the applicant shall have 90 days from the date of the notice that adjustment is required to provide an adjustment bond or security in a form acceptable to the Town's legal counsel.

(B) Article III, Section 4 of the Town of Florida Zoning Ordinance is hereby amended to add the following terms and accompanying definitions to said Article, pursuant to their alphabetical placement in said Article, as follows:

BATTERY ENERGY STORAGE SYSTEM: One or more devices, assembled together, capable of storing energy in order to supply electrical energy at a future time, not to include a stand-alone 12-volt car battery or an electric motor.

PRIME AGRICULTURAL SOILS as defined and designated by the Montgomery County Agricultural and Farmland Protection Program and the Agriculture and Markets Law Article 25-AAA.

PRIMARY USAGE (e.g. "use the electricity primarily onsite" or "produces energy primarily for", "for power generation primarily for") shall equal no more than 110% of onsite electrical usage on average over the preceding 12 months as demonstrated on utility bills.

SOLAR - LARGE SCALE: An installation of Solar Panels and Solar Equipment that is ground-mounted and produces energy primarily for the purpose of offsite sale or consumption. Any installation producing electricity greater than 110% of onsite electrical usage on average over the preceding 12 months as demonstrated on utility bills is considered Large Scale Solar. It is a use allowed upon issuance of a special use permit and site plan approval only in the C-1 Commercial, C-2 Commercial, Industrial Business Parks, and Natural Products Town Zoning Districts.

SOLAR: ROOF-MOUNTED SYSTEM: Any solar collector, solar energy device or structure which is attached to the roof of a building or structure and whose primary usage and purpose is to provide for the collection, storage, and distribution of solar energy for space heating, cooling,

water heating, or for power generation primarily for the buildings and structures located on the same parcel as the solar energy system. This type of system requires a permit as an accessory use in all Town Zoning Districts prior to installation.

Section 4. Severability

If a court determines that any clause, sentence, paragraph, subdivision, or part of this local law or the application thereof to any person, firm or corporation, or circumstance is invalid or unconstitutional, the court's order or judgment shall not affect, impair, or invalidate the remainder of this local law, but shall be confined in its operation to the clause, sentence, paragraph, subdivision, or part of this local law or in its application to the person, individual, firm or corporation or circumstance, directly involved in the controversy in which such judgment or order shall be rendered.

Section 5. Effective date

This local law shall take effect immediately upon filing with the Secretary of State.

END OF LAW

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____

assigned by the MCPB upon
acceptance of referral for review

This Referral must be received **SEVEN CALENDAR DAYS** prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
Old County Courthouse,
PO Box 1500, Fonda, New York 12068
Phone: 518-853-8334
Fax: 518-853-8336

FROM: Municipal Board: Village of Canajoharie Planning Board

Referring Officer: Kyle Ferguson - Chair

Mail original resolution to: _____

75 Erie Blvd.

Canajoharie, NY 13317

1. Applicant: Peter Lyden

2. Site Address: 98 Otsego St. Canajoharie, NY 13317

3. Tax Map Number(s): 63.70-2-19

4. Acres: Size: 160 x 155

5. Is the site currently serviced by public water? ☒ Yes ☐ No

6. On-site waste water treatment is currently provided by: ☒ Public Sewer or ☐ Septic System

7. Current Zoning: R-1

8. Current Land Use: Family Residence

9. Project Description: Applicant would like to open a bed and breakfast at his residence.

10. MCPB Jurisdiction:

☐ Text Adoption or Amendment

☒ Site is located within 500' of: _____

☒ a municipal boundary.

☒ a State or County thruway/highway/roadway

☐ an existing or proposed State or County park/recreation area

☐ an existing or proposed County-owned stream or drainage channel

☐ a State or County-owned parcel on which a public building or institution is situated

☐ a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)

11. PUBLIC HEARING: Date: 10/17 Time: 6:05pm Location: Village Hall

Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. ☐ Text Adoption or

☐ Amendment

Referring Board: _____

☐ Comprehensive Plan

☐ Local Law

☐ Zoning Ordinance

☐ Other _____

13. ☐ Zone Change

Referring Board: _____

Proposed Zone District: _____ Number of Acres: _____

Purpose of the Zone Change: _____

14. ☐ Site Plan ☐ Project Site Review

Referring Board: _____

Proposed Improvements: _____

Proposed Use: _____

Will the proposed project require a variance?

☐ Yes

☐ No

Type: ☐ Area

☐ Use

Specify: _____

Is a State or County DOT work permit needed?

If Yes : ☐ State or

☐ County

☐ No

Specify: _____

15. ☒ Special Permit

Referring Board: Village of Canajoharie Planning Board

Section of local zoning code that requires a special permit for this use: 57-15 & Zoning Schedule A

Will the proposed project require a variance? ☐ Yes ☒ No Type: ☐ Area ☐ Use

16. Variance

Referring Board:

☐ Area ☐ Use

Section(s) of local zoning code to which the variance is being sought: _____

Describe how the proposed project varies from the above code section: _____

SEQR Determination

Action:

Finding:

- ☐ Type I
☒ Type II - no review
☐ Unlisted Action
☐ Exempt

- ☐ Positive Declaration – Draft EIS
☐ Conditional Negative Declaration
☐ Negative Declaration
☒ No Finding (Type II Only)

SEQR determination made by (Lead Agency): Village of Canajoharie Planning Board Date: 9/20/23

REQUIRED MATERIAL

Send 3 copies of a "Full Statement of the Proposed Action" which includes:

All materials required by and submitted to the referring body as an application

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 l and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Kylie Ferguson - Planning Board Chair - 518-774-8341
Name, Title & Phone Number of Person Completing this Form

9/20/23
Transmittal Date

VILLAGE OF CANAJOHARIE
APPLICATION FOR
SPECIAL USE PERMIT

Code of Village of Canajoharie, §157-15

Special uses are considered to be uses which may be appropriate in the district in which they are located, but which possess special characteristics which may pose land use problems or conflicts if controlled only by the district regulation applicable to permitted uses. Please refer to attached "Schedule A: Schedule of Use Regulations" for permitted Special Uses within the Village. Section 157-15 is included for your reference. This Application must be submitted to the Planning Board.

Application for a Special Use pursuant to §157-15 of the Village Code of the Village of Canajoharie shall be upon this form and shall contain a written description of the proposed use, with reference to the appropriate use and bulk regulations herein. The following general procedures shall be applied:

Applications for special use permits may also require site plan approval in accordance with the site plan regulations in accordance with Chapter 124, Site Plan Review, of the Code of Village of Canajoharie. The Planning Board may waive site plan approval for a special use permit application that will involve no physical alteration or disturbance of a site.

In its review, the Planning Board may consult with legal, engineering, planning or environmental consultants and agency representatives to render professional opinions regarding the verification of data shown in the application, the possible effects of the proposed use upon the surrounding properties, the general harmony with the essential character of the area, the aesthetic and design qualities of the proposed use, and such other factors or considerations as may be appropriate in considering the merits of the proposal. ANY EXPENSES ASSOCIATED WITH HIRING SUCH PROFESSIONALS SHALL BE THE RESPONSIBILITY OF THE APPLICANT.

The approval of a special use permit shall be limited to the use described and approved in such permit. If all conditions and standards of the approval are not complied with throughout the duration of the special permit, or if the approved use is discontinued for a period of one year, the special permit shall be deemed revoked.

VILLAGE OF CANAJOHARIE
APPLICATION FOR
SPECIAL USE PERMIT

Date Filed: 9/14/23

Name of Applicant: Peter Lyden

Address of Applicant: 98 Otsego St, Canajoharie, NY 13317

Business Phone: _____ Fax: _____

Home Phone: _____ Mobile Phone: 518-423-0803

Email: plyden@mail.com

Property Interest of Applicant: Owner

Name of Owner (Owner, Contract Purchaser, Owner Representative, if different from Applicant):

Address of Owner: _____

Business Phone: _____ Fax: _____

Home Phone: _____ Mobile Phone: _____

Email: _____

Property Address & SBL#: 98 Otsego St, Canajoharie, NY 13317 63.70-2-19

Legal Description of Property: 210 - Single Family Residence

SWIS Code: 272203 [Attach evidence of ownership.]

Present Use (Existing structures and their location, existing topography, location and distance to the nearest state/county/town/maintained road): Single Family Residence
on appx. 1/2 acre lot in West Hill Neighborhood

Requested Use/Construction (Proposed structures, location, proposed changes, setbacks, location and distance to the nearest state/county/town/maintained road): Bed & Breakfast, no structure changes or physical alterations of site, will still be owner's primary residence

[Attach photographs of the projected site.]

Estimated Date to Begin New Use/Construction: Immediate

For Each of the Following Designers and Contractors (including, but not limited to Architect/Engineer; General Contractor; Electrical Contractor; Plumbing Contractor; Mechanical Contractor), please list the following information:

- Name: No Structural or Site
- Address: Changes
- City, State, Zip: _____
- Phone Number: _____

Please provide a Narrative Statement evaluating the economic effects on adjoining property; the effect of such elements as noxious or offensive by reason of the production or emission of smoke, noise, odor, dust, glare, fumes and vibration on adjoining property; a discussion of the general compatibility with the adjacent and other properties in the district; the effect of traffic; and the relationship of the proposed use to the Comprehensive Plan, and how it fulfills the requirements of paragraph A two (A(2)) of Section 157-15 of the Zoning Code:

Just a single room initially, potentially up to 3 rooms in the future - catering mostly to cyclists passing through the village. No planned potential impacts on neighboring properties due to owner occupied, large driveway and no construction.
(Attach additional pages if needed.)

For All That Apply, Describe How the Special Use:

(Attach additional pages, if needed.)

1. Will be harmonious with and in accordance with the general objectives, or within a specific objective of the Comprehensive Plan and/or this Zoning Code:

Yes - no exterior changes due to this use
(will continue to make repairs/renovations w/ permits as needed)

2. Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area:

Yes - will still primarily be a single family residence
Neighbors will have limited to no indication of operations due to large lot and private Driveway (8-car)

3. Will not be hazardous or disturbing to existing or future neighborhood uses:

Correct

4. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structure, refuse disposal, water, sewers and schools, or that the persons or agencies responsible for the established of the proposed use shall be able to provide adequately any such services:

Yes

4. Will not create excessive additional requirements at public cost for public facilities and services, and will not be detrimental to the economic welfare of the Village:

Correct / N/A

5. Will not involve uses, activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, smoke, fumes, glare or odors:

Correct / N/A

6. Will have vehicular approaches to the property, which shall be so designed as not to create an undue interference with traffic on surrounding public streets or roads:

Correct / N/A

7. Will not increase the potential for flood damage to adjacent property or require additional public expense for floor protection, rescue or relief:

Correct / N/A

8. Will not result in destruction, loss or damage of natural, scenic or historic features of major importance to the community:

Correct / N/A

I/We certify that all of the statements and documents submitted as part of this application are true to the best of my/our knowledge and belief.

I/We consent to the entry in or upon the premises described in this application by any authorized official of the Village of Canajoharie for the purpose of inspection.

I/We consent to pay the Village of Canajoharie all costs incurred for transcribing the public hearing on this application.

I/We understand that no final action shall be taken by the Village Board subsequent to the public hearing until transcribing and all other applicable costs or fees have been paid.

9/14/2023
Date

Peter Lyden
Print Name


Signature of Applicant

Date

Print Name

Signature of Applicant



Property Description Report For: 98 Otsego St, Municipality of V. Canajoharie

No Photo Available

No Photo Available

| | |
|----------------------|----------------------------|
| Status: | Active |
| Roll Section: | Taxable |
| Swis: | 272203 |
| Tax Map ID #: | 63.70-2-19 |
| Property Class: | 210 - 1 Family Res |
| Site: | RES 1 |
| In Ag. District: | No |
| Site Property Class: | 210 - 1 Family Res |
| Zoning Code: | - |
| Neighborhood Code: | 27003 - Village Canjo B |
| Land Assessment: | 2022 - \$19,400 |
| Total Acreage/Size: | 160 x 155 |
| Full Market Value: | 2022 - \$145,600 |
| Deed Book: | 2020 |
| Grid East: | 471540 |
| Total Assessment: | 2022 - \$145,600 |
| School District: | Canajoharie |
| Legal Property Desc: | |
| Deed Page: | 90503 |
| Grid North: | 1482307 |

Area

| | | | |
|-------------------------------|---------------|---------------------------|---------------|
| Living Area: | 3,488 sq. ft. | First Story Area: | 1,744 sq. ft. |
| Second Story Area: | 1,744 sq. ft. | Half Story Area: | 0 sq. ft. |
| Additional Story Area: | 0 sq. ft. | 3/4 Story Area: | 0 sq. ft. |
| Finished Basement: | 0 sq. ft. | Number of Stories: | 2 |

Structure

| | | | |
|-----------------------------|---------------|---------------------------------|--------------|
| Building Style: | Old style | Bathrooms (Full - Half): | 2 - 0 |
| Bedrooms: | 4 | Kitchens: | 1 |
| Fireplaces: | 1 | Basement Type: | Full |
| Porch Type: | Porch-Covered | Porch Area: | 200.00 |
| Basement Garage Cap: | 0 | Attached Garage Cap: | 0.00 sq. ft. |
| Overall Condition: | Normal | Overall Grade: | Good |
| Year Built: | 1884 | | |

Owners

Peter C Lyden
98 Otsego St
Canajoharie NY 13317

Sales

| Sale Date | Price | Property Class | Sale Type | Prior Owner | Value Usable | Arms Length | Addl. Parcels | Deed Book | Deed Page |
|-----------|-----------|--------------------|-----------------|---------------------|--------------|-------------|---------------|-----------|-----------|
| 11/5/2020 | \$142,140 | 210 - 1 Family Res | Land & Building | O'Connor, Michael F | No | No | No | 2020 | 90503 |

| | | | | | | | | | |
|-----------|-----------|--------------------------|--------------------|------------------------|-----|-----|----|------|-----|
| 6/26/2009 | \$0 | 210 - 1 Family Res | Land & Building | O'Connor, Michael | No | No | No | 1764 | 159 |
| 8/11/2006 | \$210,000 | 210 - 1 Family Res | Land & Building | Blue Jay Realty Inc | Yes | Yes | No | 1441 | 32 |
| 4/30/2001 | \$32,500 | 210 - 1 Family Res | Land & Building | Blejwas, Danuta | No | No | No | 685 | 328 |
| 9/5/2000 | \$32,500 | 210 - 1 Family Res | Land Only | Plank, Susan | Yes | Yes | No | 674 | 161 |

Utilities

| | | | |
|--------------------|-------------|----------------------|-------------|
| Sewer Type: | Comm/public | Water Supply: | Comm/public |
| Utilities: | Gas & elec | Heat Type: | Hot wtr/stm |
| Fuel Type: | Natural Gas | Central Air: | No |

Improvements

| Structure | Size | Grade | Condition | Year |
|---------------|-----------|---------|-----------|------|
| Porch-covered | 200 sq ft | Economy | Fair | 1884 |
| Barn-1.5 gen | 768 sq ft | Average | Normal | 2010 |
| Porch-covered | 45 sq ft | Average | Normal | 2010 |
| Porch-covered | 64 sq ft | Average | Normal | 2010 |

Land Types

| Type | Size |
|---------|------------|
| Primary | 0.43 acres |

Special Districts for 2022

| Description | Units | Percent | Type | Value |
|-------------------------|-------|---------|------|-------|
| Sewer System Reserve | 0 | 0 | | 0 |

Exemptions

| Year | Description | Amount | Exempt % | Start Yr | End Yr | V Flag | H Code | Own % |
|------|-------------|--------|----------|----------|--------|--------|--------|-------|
|------|-------------|--------|----------|----------|--------|--------|--------|-------|