



MONTGOMERY
C O U N T Y NY
BUSINESS DEVELOPMENT CENTER
Made of Something Stronger

Meeting Notice

TO: Board Members

FROM: Karl Gustafson Jr.

DATE: May 11th, 2026

RE: Planning Board Meeting

The regular meeting of the Montgomery County Planning Board is scheduled for Monday May 11th, 2026 at 5:30 p.m. at the Montgomery County Business Development Center, 113 Park Drive, Fultonville, NY.

Please call Karl at (518) 853-8334 between 8:30 a.m. and 4:00 p.m. if you have any questions.

cc: The Recorder
Montgomery Co. Legislature
DPW

The Leader Herald
Daily Gazette



MONTGOMERY
C O U N T Y NY
BUSINESS DEVELOPMENT CENTER
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MONTGOMERY COUNTY PLANNING BOARD MEETING

Monday May 11th, 2026

5:30 PM – Montgomery County Business Development Center

- I. Pledge of Allegiance
- II. Role Call
- III. Adoption of Agenda
- IV. Approval of previous meeting minutes
- V. Public comments on agenda items (3 minute limit per person)
- VI. City of Amsterdam- Site Plan Review - Veteran Housing
- VII. City of Amsterdam- Site Plan Review - Amsterdam Library
- VIII. Village of Fultonville- Site Plan Review - Riverside Drive
- IX. Village of Fultonville – Site Plan Review/ Area Variance- Union Street Ext.
- X. Town of Minden- Area Variance
- XI. Any other business

Montgomery County Planning Board
Meeting Minutes
April 13th, 2026
(meeting held in MCBDC, 113 Park Drive, Fultonville)

MEMBERS PRESENT:

Mark Hoffman, Chairman
Peter Lyden, Member
Irene Collins, Member
David Wiener, Vice Chairman
Frank Szykowski, Member
Wayne DeMallie, Alternate
Frank Maphia- Member

ABSENT:

Angela Frederick, Member
Erin Covey, Member
Betty Sanders, Alternate

STAFF MEMBERS PRESENT:

Alex Kuttesch, Senior Planner
Karl Gustafson Jr., Grant Assistant

OTHERS PRESENT:

Junell Pasquarrelli- Junell Realty
Dan Gray- City of Amsterdam

I. Call to Order

The meeting was called to order by Chairman Mark Hoffman at 6:31 p.m.

II. Roll Call

The roll call of board members was done by Chairman Hoffman.

III. Organization Items

There were no changes to officers of the board.

IV. Adoption of the Agenda

Irene Collins made a motion to adopt the agenda, Peter Lyden seconded. All members present were in favor.

V. Approval of Previous Meeting's Minutes

David Wiener made a motion to accept previous meeting minutes; Frank Szykowski seconded the motion. The previous minutes were approved.

VI. Public Comment

No public comment.

VII. City of Amsterdam- Review Comprehensive Plan

Alex Kuttesch explained that this referral is a review of the City of Amsterdam's Comprehensive Plan. The plan was funded by a Smart Growth Grant that was obtained by the City. David Wiener asked Dan Gray how much the city paid for their plan. Dan Gray responded that the plan cost roughly \$90,000.

Frank Szykowski made a motion to approve the referral, seconded by David Wiener. Irene Collins abstained. All other members were in favor.

The referral was approved.

VIII. Town of Amsterdam- Special use Permit

Alex Kuttesch explained that this is a special use permit for an accessory dwelling unit on Route 30. This zone in the Town of Amsterdam requires a special use permit for an addition of the dwelling.

Irene Collins made a motion to approve, Seconded by Mark Hoffman. All were in favor.

The referral was approved.

IX. Town of Amsterdam- Site Plan Review

Alex Kuttesch explained that this referral is a site plan review for a small funeral home. This is an allowable use in the current zone, and they are here just for the site plan review. Junell Pasquarrelli explained that they wanted the site plan review to extend the driveway. The building will only be used for small services.

Mark Hoffman made a motion to approve, seconded by Frank Szykowski. Peter Lyden abstained. All other members were in favor.

The referral was approved.

X. Town of Amsterdam- Zoning Update

Alex Kuttesch stated that this referral is a zoning update to a project that the board has reviewed in the past. This zoning update will make a change to the existing PUD zone in the Town of Amsterdam. The slight modification is to add multi-family dwellings and accessory uses. They are also changing the height limit in this zone from two stories to three stories.

Frank Szykowski made a motion to approve, seconded by Peter Lyden. All were in favor.

The referral was approved.

XI. Town of Glen- Site Plan Review

Alex Kuttesch presented to the board a site plan review for the Town of Glen's new salt storage shed at the existing DPW building along route 30A.

David Wiener made a motion to approve, seconded by Irene Collins. All were in favor.

The referral was approved.

XII. Other Business

There was no other business.

XIII. Adjournment

David Wiener made a motion to adjourn the meeting at 6:00 p.m., seconded by Peter Lyden. All were in favor.

Respectfully submitted,

Karl Gustafson Jr.
Economic Development Grant Assistant

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
assigned by the MCPB upon
acceptance of referral for review

This Referral must be received **SEVEN CALENDAR DAYS** prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
Old County Courthouse,
PO Box 1500, Fonda, New York 12068
Phone: 518-853-8334
Fax: 518-853-8336

FROM: Municipal Board: City of Amsterdam Planning Board
Referring Officer: Sonnet Gravina
Mail original resolution to: 61 Church St, Amsterdam
gegelston@amsterdanny.gov

1. **Applicant:** Veteran's Time to Thrive / David Mendez 2. **Site Address:** 71-73 Forbes Street
3. **Tax Map Number(s):** 55.44-3-9 4. **Acres:** 0.35
5. **Is the site currently serviced by public water?** Yes No
6. **On-site waste water treatment is currently provided by:** Public Sewer or Septic System
7. **Current Zoning:** Downtown Core 8. **Current Land Use:** Vacant land
9. **Project Description:** 6-Unit Veteran housing

10. MCPB Jurisdiction:

<input type="checkbox"/> Text Adoption or Amendment	<input checked="" type="checkbox"/> Site is located within 500' of: <u>State Route 5</u> <i>(Specify by Name)</i>
<small>Check All That Apply</small>	<input type="checkbox"/> a municipal boundary. <input checked="" type="checkbox"/> a State or County thruway/highway/roadway <input type="checkbox"/> an existing or proposed State or County park/recreation area <input type="checkbox"/> an existing or proposed County-owned stream or drainage channel <input type="checkbox"/> a State or County-owned parcel on which a public building or institution is situated <input type="checkbox"/> a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)

11. **PUBLIC HEARING:** Date: 4/22/26 Time: 6:00pm Location: City Hall

Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. **Text Adoption or** **Amendment** **Referring Board:** _____
 Comprehensive Plan Local Law Zoning Ordinance Other _____

13. **Zone Change** **Referring Board:** _____
Proposed Zone District: _____ Number of Acres: _____
Purpose of the Zone Change: _____

14. **Site Plan** **Project Site Review** **Referring Board:** C/Amsterdam Planning Board
Proposed Improvements: 6,700 sq. ft apartment building
Proposed Use: 6-Unit Veteran's housing
Will the proposed project require a variance? Yes No Type: Area Use
Specify: _____
Is a State of County DOT work permit needed? If Yes : State or County No
Specify: _____

15. **Special Permit**

Referring Board: C/Amsterdam Planning Board

Section of local zoning code that requires a special permit for this use: 250-14(B-3)

Will the proposed project require a variance? Yes No Type: Area Use

16. **Variance**

Referring Board:

Area Use

Section(s) of local zoning code to which the variance is being sought: _____

Describe how the proposed project varies from the above code section: _____

SEQR Determination

Action:

Finding:

- Check One
- Type I
 - Type II
 - Unlisted Action
 - Exempt

- Positive Declaration – Draft EIS
- Conditional Negative Declaration
- Negative Declaration
- No Finding (Type II Only)

SEQR determination made by (Lead Agency): City of Amsterdam Planning Board Date: 4/22/26

REQUIRED MATERIAL

Send 13 copies of a “Full Statement of the Proposed Action” which includes:

All materials required by and submitted to the referring body as an application

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 1 and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Grant Egelston, Code Enforcement, 518-841-4322

Name, Title & Phone Number of Person Completing this Form

Transmittal Date



CITY OF AMSTERDAM
PLANNING COMMISSION
 AMSTERDAM CITY HALL
 61 CHURCH STREET
 AMSTERDAM, NEW YORK 12010
 PHONE (518)841-4319 FAX (518)841-4310

Office Use Only:
 Application # 20-07P
 Date Received 3-16-20

PLANNING COMMISSION APPLICATION

All fields must be printed clearly or typed.

SITE PLAN REVIEW SPECIAL USE PERMIT SUBDIVISION OF LAND SKETCH PLAN CONFERENCE

PROJECT NAME: Veteran's Time To Thrive Housing Flats

PROJECT ADDRESS: 71 and 73 Forbes St. S/B/L: 55.44-3-6 & 55.44-3-7
Number Street

Which Zoning District is the project located within?

Low Density Neighborhood Medium Density Neighborhood Medical Residential Neighborhood
 Downtown Core Employment District Commercial Corridor Light Industrial District

RECEIVED

Is the property located within the Form-Based Code overlay zone? Yes No
 Is the property located within the Greenway Corridor Overlay zone? Yes No
 Is the property located within the Gateway Overlay zone? Yes No
 Is the property located within 500 feet of the Montgomery County referral buffer zone? Yes No
 Is the property located within 500 feet of a State of County highway? Yes No

MAR 16 2020

**CITY OF AMSTERDAM
 CITY CLERK'S OFFICE**

APPLICANT NAME*: Veteran's Time To Thrive Inc. (VT3)

*Applicant must be either the owner of the property to be developed or used, or be a party with a purchase agreement for the property. A copy of the purchase agreement must be attached.

Address: PO Box 756 Amsterdam, NY 12010
Number Street City State Zip

Phone No. 518-246-0736 Fax _____ Email Vets-Thriving@Vt-3.org

OWNER NAME: David J. Mendez

Address: 18 Riverview Dr. Rotterdam Junction, NY 12150
Number Street City State Zip

Phone No. 518-229-5087 Fax _____ Email Vets-Thriving@Vt-3.org

ATTORNEY/ AGENT: _____

Address: _____
Number Street City State Zip

Phone No. _____ Fax _____ Email _____

If there are additional applicants/owners, please submit separately.

Who will be the PRIMARY contact person? Applicant Owner Agent

PROVIDE A BRIEF DESCRIPTION OF THE PROJECT:

Build a 6-unit (2 bedroom) apartment flat designed to serve veterans and their families. The basement, which will house the laundry area will also house a small communal area designed to build fellowship among the residents. This will allow the military families to support each other a way the veteran administration has not been capable of. By creating the first of hopefully more follow-on units with military personnel in mind, we can disrupt the cycle of suicide, divorce, addiction, and other post military service problems we see throughout our military regardless of status. When our veterans are thriving and succeeding this will become a conduit for the revitalization and prosperity of the entire community. with these flats, Amsterdam can show the whole country how to take care of veterans.

Office Use Only:

Application # _____

Fee Schedule

Site Plan Review:	Residential:	
	Up to \$50,000.....	<input type="checkbox"/> \$50
	between \$50,000 - \$100,000.....	<input type="checkbox"/> \$100
	between \$100,000 - \$150,000.....	<input type="checkbox"/> \$150
	For every \$50,000 above \$150,000.....	<input type="checkbox"/> \$50
	Commercial:	
	Up to \$50,000.....	<input type="checkbox"/> \$75
	between \$50,000 - \$100,000.....	<input type="checkbox"/> \$150
	between \$100,000 - \$150,000.....	<input type="checkbox"/> \$225
	For every \$50,000 above \$150,000.....	<input type="checkbox"/> \$75
Special Use Permit:	Residential.....	<input type="checkbox"/> \$50
	Commercial.....	<input checked="" type="checkbox"/> \$75
All Subdivisions	<input type="checkbox"/> \$50

Total: \$ 75

A check payable to the City of Amsterdam must accompany this application.

Submission Deadline

The Planning Commission meets the fourth Wednesday of each month. Dates may vary due to holidays. Complete applications must be received 15 days prior to the next scheduled meeting to be included on the agenda.

We must receive the original, completed application packet + 7 copies.

Does any City officer, employee or family member thereof have a financial interest (as defined by General Municipal Law Section 809) in this application? Yes No

If Yes, a statement disclosing the name, residence, nature and extent of this interest must be filed with this application.

Certification, Permission, and Authorization: As the owner, leasee, or purchaser under contract for the property that is the subject of this application, I hereby certify that the above information is correct and that I have submitted herewith all documentation required or requested a waiver in writing for any documentation not submitted. I hereby authorize members of the Planning Commission and designated City of Amsterdam staff to enter the property associated with this application for purposes of conducting any necessary site inspections relating to this application. I hereby certify that there are no outstanding code violations on any owned properties within the City of Amsterdam for the applicant and property owner, if property owner is different from the applicant. I hereby authorize the person or entity listed herein as the Agent to represent my interests before the City in connection with this application.

Applicant Signature: David Mery **Date** 3/16/26

Owner Signature: _____ **Date** _____

Building/Zoning official receiving application: Egelston **Date:** 3/16/26



**CITY OF AMSTERDAM
PLANNING COMMISSION
AMSTERDAM CITY HALL
61 CHURCH STREET
AMSTERDAM, NEW YORK 12010
PHONE (518)841-4319 FAX (518)841-4310**

Application # _____

SITE PLAN APPLICATION

A "Planning Commission Application" and all attachments, including any approved plan, must be submitted with this form.

ADDRESS OF SITE: 71 & 73 Forbes St. Number Street Veteran's Time To Thrive, Inc. (VT3) Name of Business/Tenant

David J. Mendez
APPLICANT'S NAME* Date

APPLICANT'S SIGNATURE*

*Applicant must be either the owner of the property to be developed or used, or be a party with a purchase agreement for the property. A copy of the purchase agreement must be attached.

Address: PO Box 756 Amsterdam, NY 12010
Number Street City State Zip

Phone No. 518-246-0736 Fax Email Vets-Thriving@VT-3.org

CONTACT PERSON: David J. Mendez

Address: 18 Riverview DR. Rotterdam Junction, NY 12150
Number Street City State Zip

Phone No. 518-229-5087 Fax Email Vets-Thriving@VT-3.org

NAME OF PRESENT PROPERTY OWNER: _____

Address: _____
Number Street City State Zip

PROPOSED USE: (Check where applicable and provide gross floor area for each use – including basement areas)

Use	Gross Floor Area	Use	Gross Floor Area
<input type="checkbox"/> Medical Office _____	sq. ft.	<input type="checkbox"/> Wholesale Business _____	sq. ft.
<input type="checkbox"/> General Office _____	sq. ft.	<input type="checkbox"/> Warehouse/ Distribution _____	sq. ft.
<input type="checkbox"/> Retail Sales _____	sq. ft.	<input type="checkbox"/> Manufacturer _____	sq. ft.
<input type="checkbox"/> Convenience Store _____	sq. ft.	<input type="checkbox"/> Fast Food _____	sq. ft.
<input checked="" type="checkbox"/> Apartments <u>6</u> units <u>6700</u>	sq. ft.	<input type="checkbox"/> Restaurant, Barroom _____	sq. ft.
<input type="checkbox"/> Motel, Hotel _____ rooms	sq. ft.	If restaurant or barroom: # of seats: _____	
<input type="checkbox"/> Storage _____	sq. ft.	<input checked="" type="checkbox"/> Other (specify) <u>Basement / Laundry Area - 1000</u>	sq. ft.

Area of Parcel _____ Acres _____ Sq. Ft.

Disposition of Parcel (in square feet)	Existing	Net Increase or Decrease	Total Proposed	Total (As % of site)
Building Area	0	+2,347	+2,347	10.8%
Paved Area (incl. walks, gravel, etc.)	0	+5,245	+5,245	100%
Green Area	21,655	+7,592	_____	35%
Number of Parking Spaces	0	6	6	

If change in tenant: Name of previous tenant/business: N/A

Specific activities of previous use: _____

Present (if any) number of employees at maximum shift: N/A Present (if any) number of shifts: _____

Proposed number of employees at maximum shift: N/A Proposed number of shifts: _____

Proposed Days & Hours of operation: _____

SITE PLAN CHECKLIST

All items on the list must be included with the Site Plan Application

- Photographs of the property
- Aerial view of the property (Google Earth or similar) with the project location indicated
- Environmental assessment form. An application for site plan review and approval shall also be accompanied by a short or full EAP as required by SEQRA, Article 8 of the Environmental Conservation Law and Title 6 Part 617 NYCRR.

A CERTIFIED DRAWING INCLUDING THE FOLLOWING:

- Title of drawing, including name and address of applicant and person(s) responsible for preparation of such drawing.
- North arrow, scale and date.
- Accurate boundaries of the property plotted to scale, showing location & names of adjacent streets, access to adjacent streets, existing buildings and other improvements (identify use of each building), and site coverage statistics
- Preliminary drawings showing location, proposed use and height of all buildings, including:
 - General floor plans
 - Exterior elevations
 - Overall dimensions
 - Design and exterior materials
- Existing/proposed pedestrian & bicyclist accommodations
- Location of outdoor storage for equipment and materials, if any.
- Existing/proposed parking & circulation, including
 - Number of off-street parking spaces, including accessible spaces, as required by Chapter 250, Section 39
 - Bicycle parking
 - Location of off-street loading
- Fencing and/or screening
- Landscaping
- Outdoor lighting
- Signage, showing the following:
 - Placement on the building
 - Size
 - Colors
 - Material
 - Illumination

Acknowledgement. The undersigned acknowledges that he or she has provided all information and materials required herein or provided a written waiver request with a narrative justification for each item not submitted.

Applicant Signature: David T. Manly **Date** 3/16/26

Building/Zoning official receiving application: _____ Date _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Veteran's Time to Thrive			
Name of Action or Project: 6-unit veteran's housing			
Project Location (describe, and attach a location map): 71-73 Forbes St, Amsterdam			
Brief Description of Proposed Action: 6-unit veteran's housing			
Name of Applicant or Sponsor: Veteran's Time to Thrive, David Mendez		Telephone: 518-246-0736	
		E-Mail:	
Address: PO Box 756			
City/PO: Amsterdam		State: NY	Zip Code: 12010
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.48 acres	
b. Total acreage to be physically disturbed?		.2 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.48 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____ storm drains _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>DAVID J. MENDEZ</u> Date: <u>3/16/26</u> Signature: <u><i>David J. Mendez</i></u> Title: <u>PRESIDENT</u>		



This side to be completed by Montgomery County Planning.

REFERRAL FORM
MONTGOMERY COUNTY PLANNING BOARD

TO: _____

Receipt of 239-m referral is acknowledged on _____. Please be advised that the Montgomery County Planning Board has reviewed the proposal stated on the opposite side of this form on _____ and makes the following recommendation.

- Approves

- Approves (with Modification)

- Disapproves:

- No significant County-wide or inter-community input

- Not subject to Planning Board review

- Took no action

Section 239-m of the General Municipal Law requires that within thirty days after final action by the municipality is taken; a report of the final action shall be filed with the County Planning Board.

Date

Kenneth F. Rose, Director
Montgomery County Dept. of Economic
Development and Planning

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
assigned by the MCPB upon
acceptance of referral for review

This Referral must be received SEVEN CALENDAR DAYS prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
Old County Courthouse,
PO Box 1500, Fonda, New York 12068
Phone: 518-853-8334
Fax: 518-853-8336

FROM: Municipal Board: City of Amsterdam Planning Board
Referring Officer: Sonnet Gravina
Mail original resolution to: 61 Church St, Amsterdam
gegelston@amsterdanny.gov

1. Applicant: Library Addition (Phase 2) 2. Site Address: 28 Church Street
3. Tax Map Number(s): 55.44-3-9 4. Acres: 0.232
5. Is the site currently serviced by public water? Yes No
6. On-site waste water treatment is currently provided by: Public Sewer or Septic System
7. Current Zoning: Downtown Core 8. Current Land Use: Vacant land
9. Project Description: Demo rear portion of existing library. Rebuild with site improvements.

10. MCPB Jurisdiction:

<input type="checkbox"/> Text Adoption or Amendment	<input checked="" type="checkbox"/> Site is located within 500' of: <u>State Route 30</u> <i>(Specify by Name)</i>
Check All That Apply	<input type="checkbox"/> a municipal boundary. <input checked="" type="checkbox"/> a State or County thruway/highway/roadway <input type="checkbox"/> an existing or proposed State or County park/recreation area <input type="checkbox"/> an existing or proposed County-owned stream or drainage channel <input type="checkbox"/> a State or County-owned parcel on which a public building or institution is situated <input type="checkbox"/> a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)

11. PUBLIC HEARING: Date: 4/22/26 Time: 6:00pm Location: City Hall

Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. Text Adoption or Amendment Referring Board: _____
 Comprehensive Plan Local Law Zoning Ordinance Other _____

13. Zone Change Referring Board: _____
Proposed Zone District: _____ Number of Acres: _____
Purpose of the Zone Change: _____

14. Site Plan Project Site Review Referring Board: C/Amsterdam Planning Board
Proposed Improvements: Commercial building addition
Proposed Use: Library
Will the proposed project require a variance? Yes No Type: Area Use
Specify: _____
Is a State of County DOT work permit needed? If Yes : State or County No
Specify: _____

15. Special Permit

Referring Board:

Section of local zoning code that requires a special permit for this use: _____

Will the proposed project require a variance? Yes No Type: Area Use

16. Variance

Referring Board:

Area Use

Section(s) of local zoning code to which the variance is being sought: _____

Describe how the proposed project varies from the above code section: _____

SEQR Determination

Action:

Finding:

- Check One
- Type I
 - Type II
 - Unlisted Action
 - Exempt

- Positive Declaration – Draft EIS
- Conditional Negative Declaration
- Negative Declaration
- No Finding (Type II Only)

SEQR determination made by (Lead Agency): City of Amsterdam Planning Board Date: 4/22/26

REQUIRED MATERIAL

Send 13 copies of a “Full Statement of the Proposed Action” which includes:

All materials required by and submitted to the referring body as an application

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 1 and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Grant Egelston, Code Enforcement, 518-841-4322

Name, Title & Phone Number of Person Completing this Form

Transmittal Date



208 Flynn Avenue, Suite 2A, Burlington, VT 05401 • Tel: 802-863-6225
85 Mechanic Street, Suite E2-3, Lebanon, NH 03766 • Tel: 603-442-9333
368 Broadway, Suite 11, Saratoga Springs, NY 12886 • Tel: 518-205-9141

April 6, 2026

Mr. Grant Egelston
City of Amsterdam Code Enforcement
61 Church Street
Amsterdam, NY 12010

**RE: AMSTERDAM FREE LIBRARY
28 CHURCH STREET
SITE PLAN REVIEW APPLICATION
CITY OF AMSTERDAM, MONTGOMERY COUNTY, NY**

Dear Mr. Egelston:

On behalf of the Applicant, The Amsterdam Free Library, please find the following information enclosed for a Site Plan Review:

1. Seven (7) half-size (12" x 18") plans consisting of Sheets C001, C101, C102, C103, C104, C501, C502, C503 and C504 prepared by Engineering Ventures, P.C. and last revised 04/03/2026.
2. Seven (7) half-size (12" x 18") plans consisting of Sheets A100, A101, A102, A200, A201, A202, and A203 prepared by John G. Waite Associates, Architects, and last revised 02/10/2022.
3. Seven (7) copies of the Planning Commission Application
4. Seven (7) copies of the Site Plan Application
5. Seven (7) copies of the Short Environmental Assessment Form
6. Seven (7) copies of Site Photographs
7. Seven (7) copies of the Aerial View for the Site

The Applicant, Amsterdam Free Library, is proposing the demolition of the rear portion of the existing library building and construction of an approximately 3,113 square foot addition in its place, with a slightly larger footprint that necessitates a lot line adjustment with the adjacent property (TMP 55.35-1-64, owned by the City of Amsterdam), along with associated site improvements including patios, sidewalks, and new drainage infrastructure to convey stormwater runoff around the proposed building. The addition will include a lower level, first floor, and second floor.

The site is located in the Downtown Core Zoning District and is located on Tax parcels 55.35-1-32 (Amsterdam Free Library site) and 55.35-1-64 (City of Amsterdam property). The existing lot area is 10,125 SF+/- (0.232 acres +/-), and the proposed lot area after the lot line adjustment is 12,395 SF+/- (0.284 acres +/-).

We trust this submission is complete, and we look forward to discussing the project with your office. However, if you have any questions or require any additional information, please do not hesitate to contact me.

Sincerely,
Engineering Ventures PC

A handwritten signature in blue ink, appearing to read 'Mark DeCrescente', with a long horizontal flourish extending to the right.

Mark DeCrescente, P.E. – Project Manager/Engineer



CITY OF AMSTERDAM
PLANNING COMMISSION
 AMSTERDAM CITY HALL
 61 CHURCH STREET
 AMSTERDAM, NEW YORK 12010
 PHONE (518)841-4319 FAX (518)841-4310

Office Use Only:
 Application # 26-08P
 Date Received 4-6-26

PLANNING COMMISSION APPLICATION

All fields must be printed clearly or typed.

SITE PLAN REVIEW SPECIAL USE PERMIT SUBDIVISION OF LAND SKETCH PLAN CONFERENCE

PROJECT NAME: Amsterdam Free Library

PROJECT ADDRESS: 28 Church Street S/B/L: 55.35-1-32 & -64
Number Street

Which Zoning District is the project located within?

- Low Density Neighborhood Medium Density Neighborhood Medical Residential Neighborhood
 Downtown Core Employment District Commercial Corridor Light Industrial District

- Is the property located within the Form-Based Code overlay zone? Yes No
 Is the property located within the Greenway Corridor Overlay zone? Yes No
 Is the property located within the Gateway Overlay zone? Yes No
 Is the property located within 500 feet of the Montgomery County referral buffer zone? Yes No
 Is the property located within 500 feet of a State of County highway? Yes No

APPLICANT NAME*: Amsterdam Free Library (Contact: Nicole Hemsley, Executive Director at Amsterdam Free Library)

*Applicant must be either the owner of the property to be developed or used, or be a party with a purchase agreement for the property. A copy of the purchase agreement must be attached.

Address: 28 Church Street, Amsterdam, NY 12010
Number Street City State Zip

Phone No. (518) 842-1080 Fax _____ Email NHemsley@mvl.info

OWNER NAME: Same as Applicant

Address: _____
Number Street City State Zip

Phone No. _____ Fax _____ Email _____

ATTORNEY/ AGENT: John G. Waite Associates Architects (Contact: Shannon Brown, AIA)

Address: 384 Broadway, Albany, NY 12207
Number Street City State Zip

Phone No. (518) 449-5440 Fax _____ Email SBrown@jgwaarchitects.com

If there are additional applicants/owners, please submit separately.

Who will be the PRIMARY contact person? Applicant Owner Agent

PROVIDE A BRIEF DESCRIPTION OF THE PROJECT:

Demolition of the rear portion of the existing library building and construction of an approximately 3,113 square foot addition in its place, with a slightly larger footprint that necessitates a lot line adjustment with the adjacent property (TMP 55.35-1-64, owned by the City of Amsterdam), along with associated site improvements including patios, sidewalks, and new drainage infrastructure to convey storm water runoff around the proposed building; the addition will include a lower level, first floor, and second floor.

Office Use Only:

Application # _____

Fee Schedule

Site Plan Review:	Residential:	
	Up to \$50,000.....	<input type="checkbox"/> \$50
	between \$50,000 - \$100,000.....	<input type="checkbox"/> \$100
	between \$100,000 - \$150,000.....	<input type="checkbox"/> \$150
	For every \$50,000 above \$150,000.....	<input type="checkbox"/> \$50
	Commercial:	
	Up to \$50,000.....	<input type="checkbox"/> \$75
	between \$50,000 - \$100,000.....	<input type="checkbox"/> \$150
	between \$100,000 - \$150,000.....	<input type="checkbox"/> \$225
	For every \$50,000 above \$150,000.....	<input type="checkbox"/> \$75
Special Use Permit:	Residential	<input type="checkbox"/> \$50
	Commercial	<input type="checkbox"/> \$75
All Subdivisions	<input type="checkbox"/> \$50

Note: Per conversations with the City, this project will not require a review fee.

Total: \$ N/C - DRI Project

A check payable to the City of Amsterdam must accompany this application.

Submission Deadline

The Planning Commission meets the fourth Wednesday of each month. Dates may vary due to holidays. Complete applications must be received 15 days prior to the next scheduled meeting to be included on the agenda.

We must receive the original, completed application packet + 7 copies.

Does any City officer, employee or family member thereof have a financial interest (as defined by General Municipal Law Section 809) in this application? Yes No

If Yes, a statement disclosing the name, residence, nature and extent of this interest must be filed with this application.

Certification, Permission, and Authorization: As the owner, leasee, or purchaser under contract for the property that is the subject of this application, I hereby certify that the above information is correct and that I have submitted herewith all documentation required or requested a waiver in writing for any documentation not submitted. I hereby authorize members of the Planning Commission and designated City of Amsterdam staff to enter the property associated with this application for purposes of conducting any necessary site inspections relating to this application. I hereby certify that there are no outstanding code violations on any owned properties within the City of Amsterdam for the applicant and property owner, if property owner is different from the applicant. I hereby authorize the person or entity listed herein as the Agent to represent my interests before the City in connection with this application.

Applicant Signature: _____ Date 4/1/2026

Owner Signature: _____ Date 4/1/2026

Building/Zoning official receiving application: Egelston Date 4-6-26



CITY OF AMSTERDAM
PLANNING COMMISSION
 AMSTERDAM CITY HALL
 61 CHURCH STREET
 AMSTERDAM, NEW YORK 12010
 PHONE (518)841-4319 FAX (518)841-4310

Application # _____

SITE PLAN APPLICATION

A "Planning Commission Application" and all attachments, including any approved plan, must be submitted with this form.

ADDRESS OF SITE: 28 Church Street Amsterdam Free Library
Number Street Name of Business/Tenant

Amsterdam Free Library (Contact: Nicole Hemsley, Executive Director at Amsterdam Free Library)

APPLICANT'S NAME* _____ Date _____

APPLICANT'S SIGNATURE* _____

*Applicant must be either the owner of the property to be developed or used, or be a party with a purchase agreement for the property. A copy of the purchase agreement must be attached.

Address: 28 Church Street, Amsterdam, NY 12010
Number Street City State Zip

Phone No. (518) 842-1080 Fax _____ Email NHemsley@mvls.info

CONTACT PERSON: John G. Waite Associates Architects (Contact: Shannon Brown, AIA)

Address: 384 Broadway, Albany, NY 12207
Number Street City State Zip

Phone No. (518) 449-5440 Fax _____ Email SBrown@jgwaarchitects.com

NAME OF PRESENT PROPERTY OWNER: Amsterdam Free Library (Contact: Nicole Hemsley, Executive Director)

Address: 28 Church Street, Amsterdam, NY 12010
Number Street City State Zip

PROPOSED USE: (Check where applicable and provide gross floor area for each use – including basement areas)

Use	Gross Floor Area	Use	Gross Floor Area
_____ Medical Office _____	sq. ft.	_____ Wholesale Business _____	sq. ft.
_____ General Office _____	sq. ft.	_____ Warehouse/ Distribution _____	sq. ft.
_____ Retail Sales _____	sq. ft.	_____ Manufacturer _____	sq. ft.
_____ Convenience Store _____	sq. ft.	_____ Fast Food _____	sq. ft.
_____ Apartments _____ units _____	sq. ft.	_____ Restaurant, Barroom _____	sq. ft.
_____ Motel, Hotel _____ rooms _____	sq. ft.	_____ If restaurant or barroom: # of seats: _____	
_____ Storage _____	sq. ft.	<input checked="" type="checkbox"/> Other (specify) <u>Library, 20,020</u>	sq. ft.

Area of Parcel 0.232+/- **EXISTING** Acres 10,125+/- Sq. Ft. **PROPOSED AFTER LOT LINE ADJUSTMENT**
0.284+/- Acres 12,395 SF+/- Sq Ft.

Disposition of Parcel (in square feet)	Existing	Net Increase or Decrease	Total Proposed	Total (As % of site)
Building Area	<u>5,557 SF</u>	<u>1,400 SF increase</u>	<u>6,957 SF</u>	<u>56.1% (of prop. lot area)</u>
Paved Area (incl. walks, gravel, etc.)	<u>660 SF</u>	<u>1,141 SF increase</u>	<u>1,801 SF</u>	<u>14.6% (of prop. lot area)</u>
Green Area	<u>3,908 SF</u>	<u>271 SF decrease</u>	<u>3,637 SF</u>	<u>29.3% (of prop. lot area)</u>
Number of Parking Spaces	<u>0 (NOTE1)</u>	<u>0 (NOTE1)</u>	<u>0 (NOTE1)</u>	

If change in tenant: Name of previous tenant/business: N/A

Specific activities of previous use: _____

Present (if any) number of employees at maximum shift: 6 Present (if any) number of shifts: 3

Proposed number of employees at maximum shift: 6 (SEE NOTE 2) Proposed number of shifts: 3 (SEE NOTE 2)

Proposed Days & Hours of operation: Monday and Thursday 9am-8pm, Tuesday, Wednesday, and Friday 9 am-5pm, Saturday and Sunday 10am-3pm

Note 1: All parking for the facility is located on the adjacent lot

Note 2: In addition to 6 staff, there will be a custodian and building manager that would not be on a shift.

SITE PLAN CHECKLIST

All items on the list must be included with the Site Plan Application

- Photographs of the property
- Aerial view of the property (Google Earth or similar) with the project location indicated
- Environmental assessment form. An application for site plan review and approval shall also be accompanied by a short or full EAP as required by SEQRA, Article 8 of the Environmental Conservation Law and Title 6 Part 617 NYCRR.

A CERTIFIED DRAWING INCLUDING THE FOLLOWING:

- Title of drawing, including name and address of applicant and person(s) responsible for preparation of such drawing.
- North arrow, scale and date.
- Accurate boundaries of the property plotted to scale, showing location & names of adjacent streets, access to adjacent streets, existing buildings and other improvements (identify use of each building), and site coverage statistics
- Preliminary drawings showing location, proposed use and height of all buildings, including:
 - General floor plans
 - Exterior elevations
 - Overall dimensions
 - Design and exterior materials
- Existing/proposed pedestrian & bicyclist accommodations
- Location of outdoor storage for equipment and materials, if any.
- Existing/proposed parking & circulation, including
 - Number of off-street parking spaces, including accessible spaces, as required by Chapter 250, Section 39
 - Bicycle parking
 - Location of off-street loading
- Fencing and/or screening
- Landscaping
- Outdoor lighting
- Signage, showing the following:
 - Placement on the building
 - Size
 - Colors
 - Material
 - Illumination

Acknowledgement. The undersigned acknowledges that he or she has provided all information and materials required herein or provided a written waiver request with a narrative justification for each item not submitted.

Applicant Signature:  Date 4/1/2020

Building/Zoning official receiving application: _____	Date _____
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Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

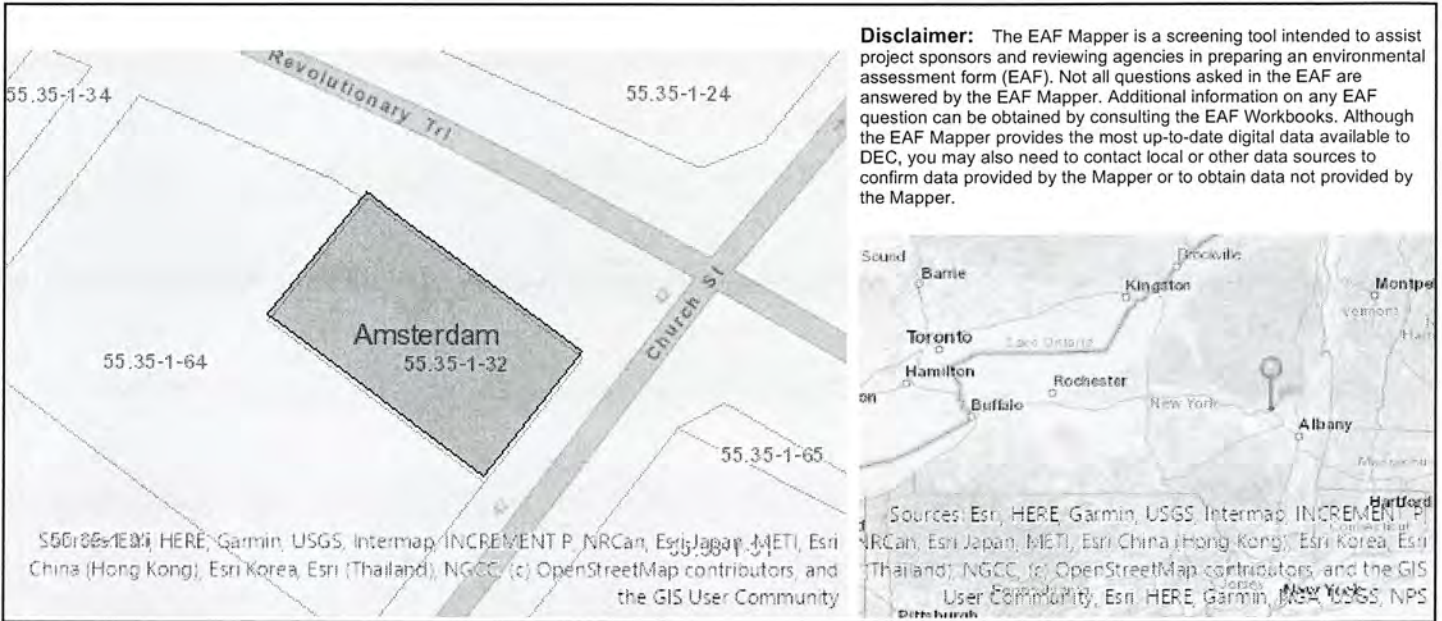
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Amsterdam Free Library Addition			
Project Location (describe, and attach a location map): 28 Church St, Amsterdam, NY 12010			
Brief Description of Proposed Action: Demolition of the rear portion of the existing library building and construction of an approximately 3,113 square foot addition in its place, with a slightly larger footprint that necessitates a lot line adjustment with the adjacent property (TMP 55.35-1-64, owned by the City of Amsterdam), along with associated site improvements including patios, sidewalks, and new drainage infrastructure to convey stormwater runoff around the proposed building; the addition will include a lower level, first floor, and second floor.			
Name of Applicant or Sponsor: Nicole Hemsley, Executive Director, Amsterdam Free Library		Telephone: 518-842-1080 E-Mail: NHemsley@mvls.info	
Address: 28 Church Street			
City/PO: Amsterdam		State: NY	Zip Code: 12010
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.28 acres		a > c, as a includes an additional 0.05 acres associated with the lot line adjustment.	
b. Total acreage to be physically disturbed? _____ 0.21 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.23 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Peregrine Falcon	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Stormwater from the building roof, as well as adjacent patios and walkways, will be collected via on site drainage infrastructure and conveyed to an existing catch basin located on the adjoining town owned parcel.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ Adjoining Property: Site No 4-029610 US Postal Service, 10 Church Street - Petroleum Bulk Storage Status: Unregulated/Closed	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Nicole Hemsley</u> Date: <u>4/1/2026</u> Signature: <u></u> Title: <u>Executive Director</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Peregrine Falcon
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



Picture #1: Standing South of Building and Looking NE



Picture #2: Standing South of Building and Looking E



Picture #3: Standing North of Building and Looking E



Picture #4: Standing North of Building and Looking W



Picture #5: Standing South of Building and Looking N



Picture #6: Standing Southwest of Building and Looking NE

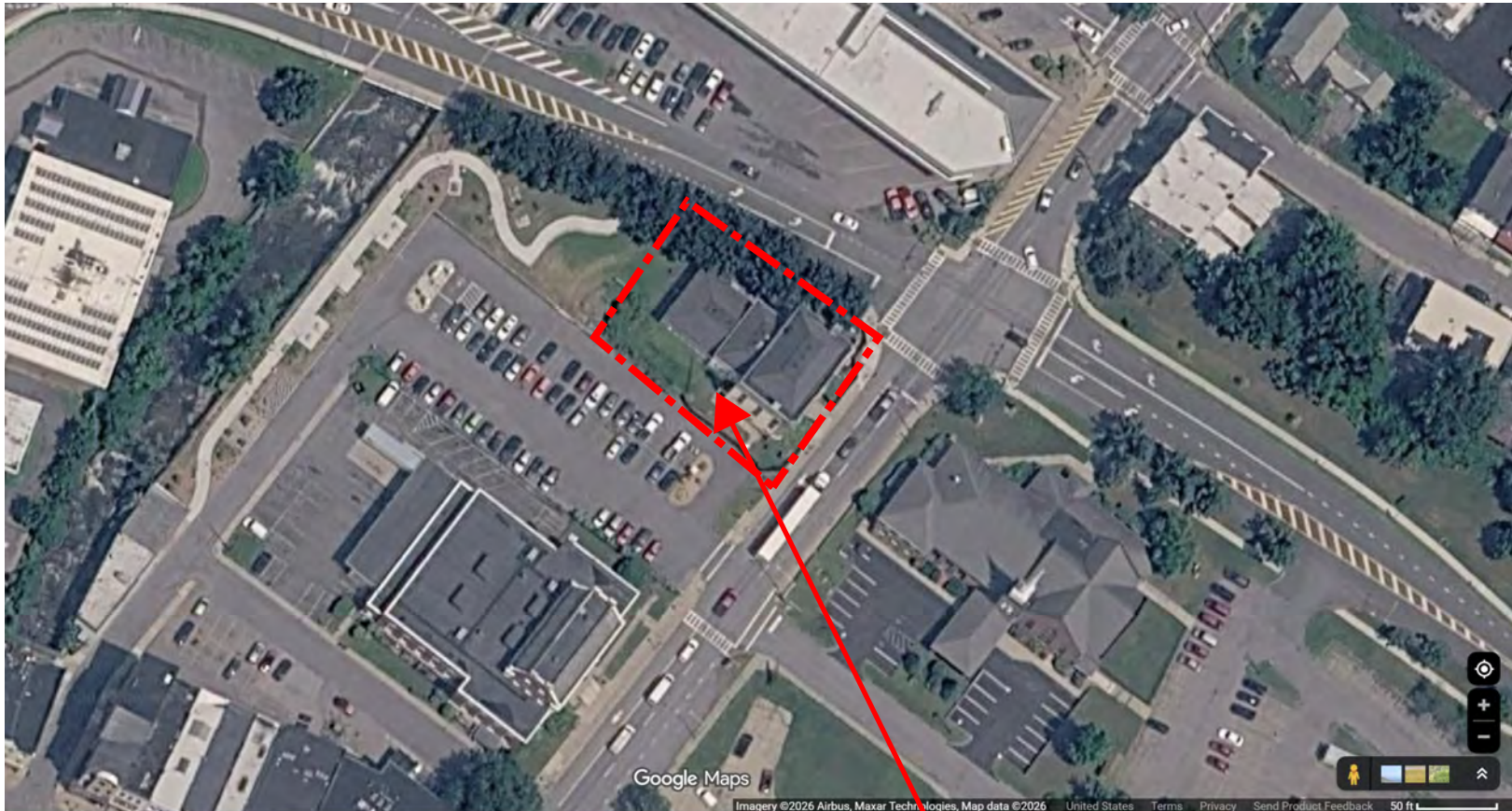


Picture #7: Standing Southwest of Building and Looking E



Picture #8: Standing Northeast of Building and Looking W

AERIAL VIEW OF SITE

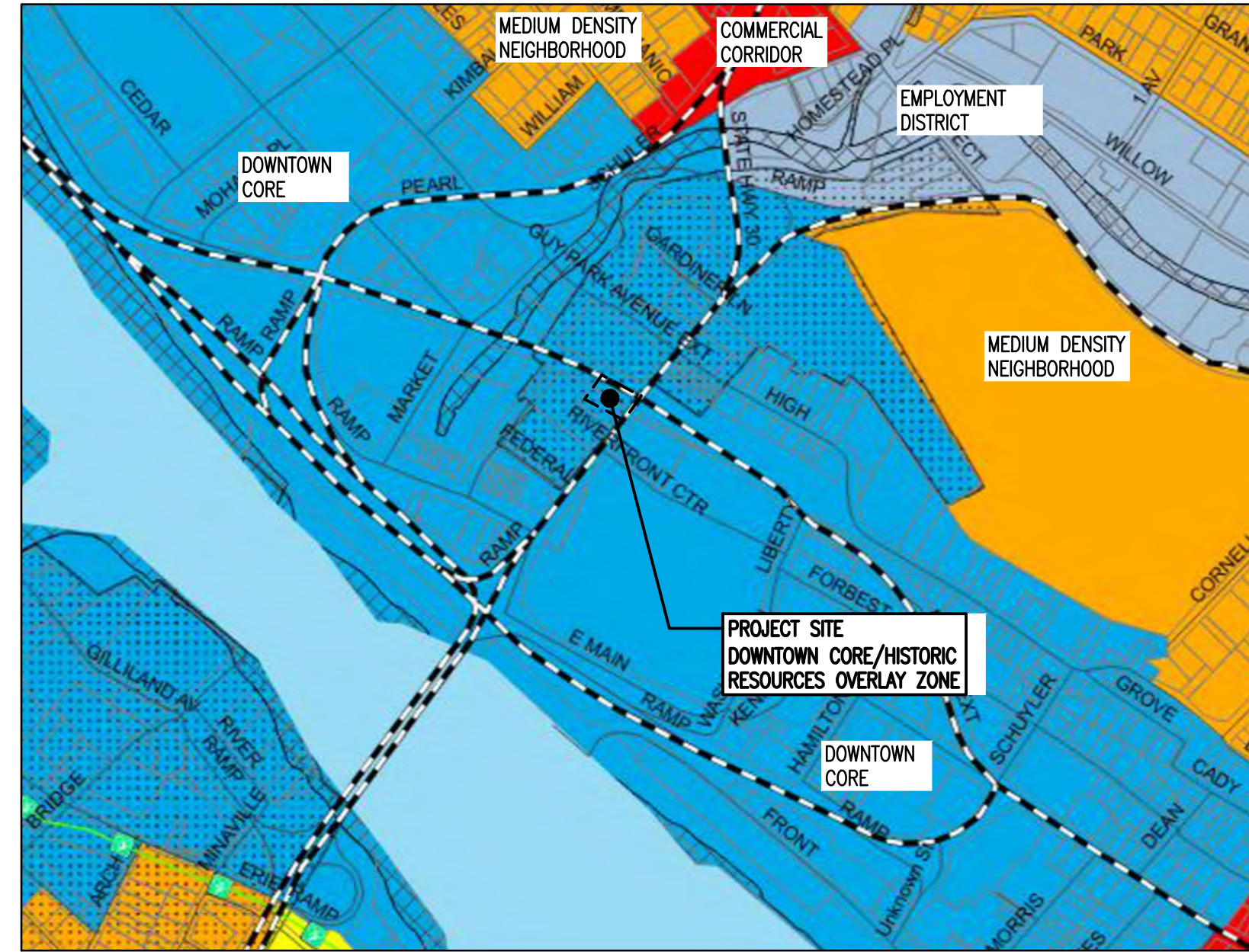


PROJECT SITE



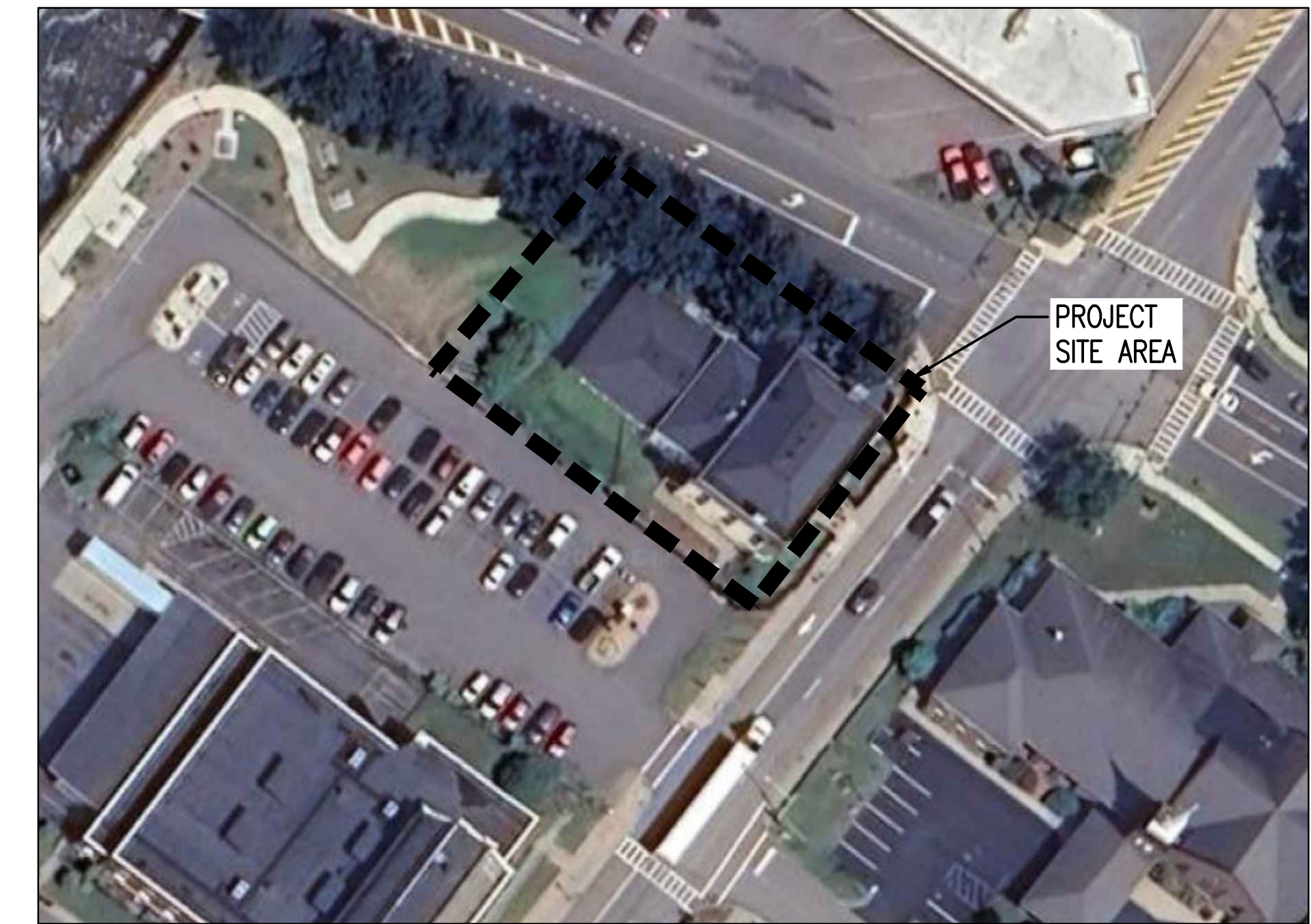
TAX MAP

SCALE: 1" = 100'



SURROUNDING ZONING DISTRICT MAP

SCALE: 1" = 500'



VICINITY MAP

SCALE: 1" = 2,000'

SYMBOL LEGEND

PROPOSED FEATURES	EXISTING FEATURES
BOUND	BOUND
BENCHMARK	BENCHMARK
DRILL HOLE	DRILL HOLE
SURVEY POINT	SURVEY POINT
IRON PIN	IRON PIN
TP1	TP1
B1	B1
BORING	BORING
PERC TEST	PERC TEST
CATCH BASIN (SQUARE)	CATCH BASIN (SQUARE)
CATCH BASIN (ROUND)	CATCH BASIN (ROUND)
HEADWALL	HEADWALL
FLARED END SECTION	FLARED END SECTION
STONE APRON	STONE APRON
DRAIN MANHOLE (DMH)	DRAIN MANHOLE (DMH)
DRAINAGE CLEAN OUT	DRAINAGE CLEAN OUT
SANITARY SEWER MANHOLE (SMH)	SANITARY SEWER MANHOLE (SMH)
SANITARY CLEAN OUT	SANITARY CLEAN OUT
HYDRANT	HYDRANT
WATER SHUTOFF	WATER SHUTOFF
TAPPING SLEEVE & VALVE	TAPPING SLEEVE & VALVE
GATE VALVE	GATE VALVE
WELL	WELL
UTILITY POLE	UTILITY POLE
GUY POLE	GUY POLE
ELECTRICAL MANHOLE	ELECTRICAL MANHOLE
FLOOD LIGHT	FLOOD LIGHT
LIGHT POST	LIGHT POST
TELEPHONE MANHOLE	TELEPHONE MANHOLE
NATURAL GAS MANHOLE	NATURAL GAS MANHOLE
COMMUNICATION MANHOLE	COMMUNICATION MANHOLE
BOLLARD	BOLLARD
SINGLE POLE SIGN	SINGLE POLE SIGN
DOUBLE POLE SIGN	DOUBLE POLE SIGN
SPOT ELEVATION	SPOT ELEVATION
ACCESSIBLE PARKING STALL	ACCESSIBLE PARKING STALL
DRAINAGE FLOW	DRAINAGE FLOW
DECIDUOUS TREE	DECIDUOUS TREE
CONIFEROUS TREE	CONIFEROUS TREE

LINETYPE LEGEND

PROPOSED FEATURES	EXISTING FEATURES
100 MAJOR CONTOUR	100 MAJOR CONTOUR
98 MINOR CONTOUR	98 MINOR CONTOUR
PROPERTY LINE	PROPERTY LINE
SETBACK	SETBACK
EASEMENT	EASEMENT
CENTERLINE	CENTERLINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
EDGE OF GRAVEL	EDGE OF GRAVEL
EDGE OF CONCRETE	EDGE OF CONCRETE
CURB	CURB
FENCE (CHAIN LINK)	FENCE (CHAIN LINK)
FENCE (WOODEN)	FENCE (WOODEN)
GUARD RAIL	GUARD RAIL
TREE LINE	TREE LINE
STONE WALL	STONE WALL
SANITARY SEWER	SANITARY SEWER
SEWER FOREMAIN	SEWER FOREMAIN
STORM LINE	STORM LINE
UNDER DRAIN	UNDER DRAIN
FOUNDATION DRAIN	FOUNDATION DRAIN
ROOF DRAIN	ROOF DRAIN
DITCH/SWALE	DITCH/SWALE
UNDERGROUND TELECOMM	UNDERGROUND TELECOMM
OVERHEAD TELECOMM	OVERHEAD TELECOMM
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
NRCS SOIL BOUNDARY	NRCS SOIL BOUNDARY

GENERAL NOTES

- EXACT OBJECT LOCATIONS MAY DIFFER FROM THAT AS SHOWN, AND ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES AND STRUCTURES MAY EXIST. THE CONTRACTOR IS TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK.
- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES. ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND ENGINEER. SITE CONTRACTOR SHALL CALL UTILITY LOCATOR SERVICE AND UTILITY OWNERS 72 HOURS, EXCLUSIVE OF WEEKENDS AND HOLIDAYS, PRIOR TO ANY DIGGING, DRILLING, OR BLASTING:
 - DIG SAFE (TEL: #811)
 - NON DIG SAFE MEMBER FACILITY OPERATORS IF KNOWN. (A LIST OF DIG SAFE MEMBERS BY STATE CAN BE FOUND ON THE DIG SAFE WEB SITE WWW.DIGSAFE.COM)
 - CITY OF AMSTERDAM DEPARTMENT OF PUBLIC WORKS (518-842-3691)
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL FROM THE ENGINEER.
- THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- THE CONTRACTOR SHALL RESTORE LAWS, DRIVEWAYS, CULVERTS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO EXISTING CONDITIONS OR BETTER AS DETERMINED BY THE ENGINEER. ANY DAMAGED TREES, SHRUBS AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL BUILDING PERMITS. THE CONTRACTORS SHALL BE RESPONSIBLE FOR ALL WORK PERMITS, INSPECTIONS, AND CERTIFICATES. THE FIRM PROVIDING THE SPECIAL INSPECTIONS SHALL BE INDEPENDENT AND NOT WORK FOR THE OWNER AND CONTRACTOR.
- THE CONTRACTOR WILL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT EXPLORATORY TEST PITS AS MAY BE REQUIRED TO DETERMINE UNDERGROUND CONDITIONS.
- ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS FOR CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK. DEWATERING METHOD MUST BE APPROVED BY THE OWNER AND COORDINATED WITH THE CITY OF AMSTERDAM DEPARTMENT OF PUBLIC WORKS.
- MAINTAIN FLOW FOR ALL EXISTING UTILITIES, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND IMPERVIOUS SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE CONTRACTOR SHALL PROVIDE MARKED-UP AS-BUILT PLANS FOR ALL UTILITIES SHOWING CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION, MONITORING, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES AND TAKING PRECAUTIONARY STEPS TO AVOID ANY SEDIMENT TRANSFER TO NEIGHBORING SITES OR WATERS OF THE STATE.
- ALL SITE FILL SHALL MEET SPECIFICATION 31 23 23 FILL UNLESS NOTED OTHERWISE ON THE DRAWINGS.

SUBJECT PROPERTY

TAX MAP PARCEL 55.35-1-32
 AMSTERDAM FREE LIBRARY
 28 CHURCH STREET
 CITY OF AMSTERDAM, MONTGOMERY COUNTY, NEW YORK

OWNER/APPLICANT

AMSTERDAM FREE LIBRARY
 28 CHURCH STREET
 AMSTERDAM, NY 12010
 (518) 842-1080

SHEET INDEX

SHEET	SHEET TITLE
C001	SITE LEGEND AND NOTES
C101	EXISTING CONDITIONS AND DEMOLITION PLAN
C102	SITE PLAN
C103	GRADING PLAN & UTILITY PLAN
C104	EROSION AND SEDIMENT CONTROL PLAN
C501	SITE DETAILS (1 OF 2)
C502	SITE DETAILS (2 OF 2)
C503	STORM, EROSION & SEDIMENT CONTROL DETAILS
C504	EROSION & SEDIMENT CONTROL DETAILS



C001

NOT FOR CONSTRUCTION

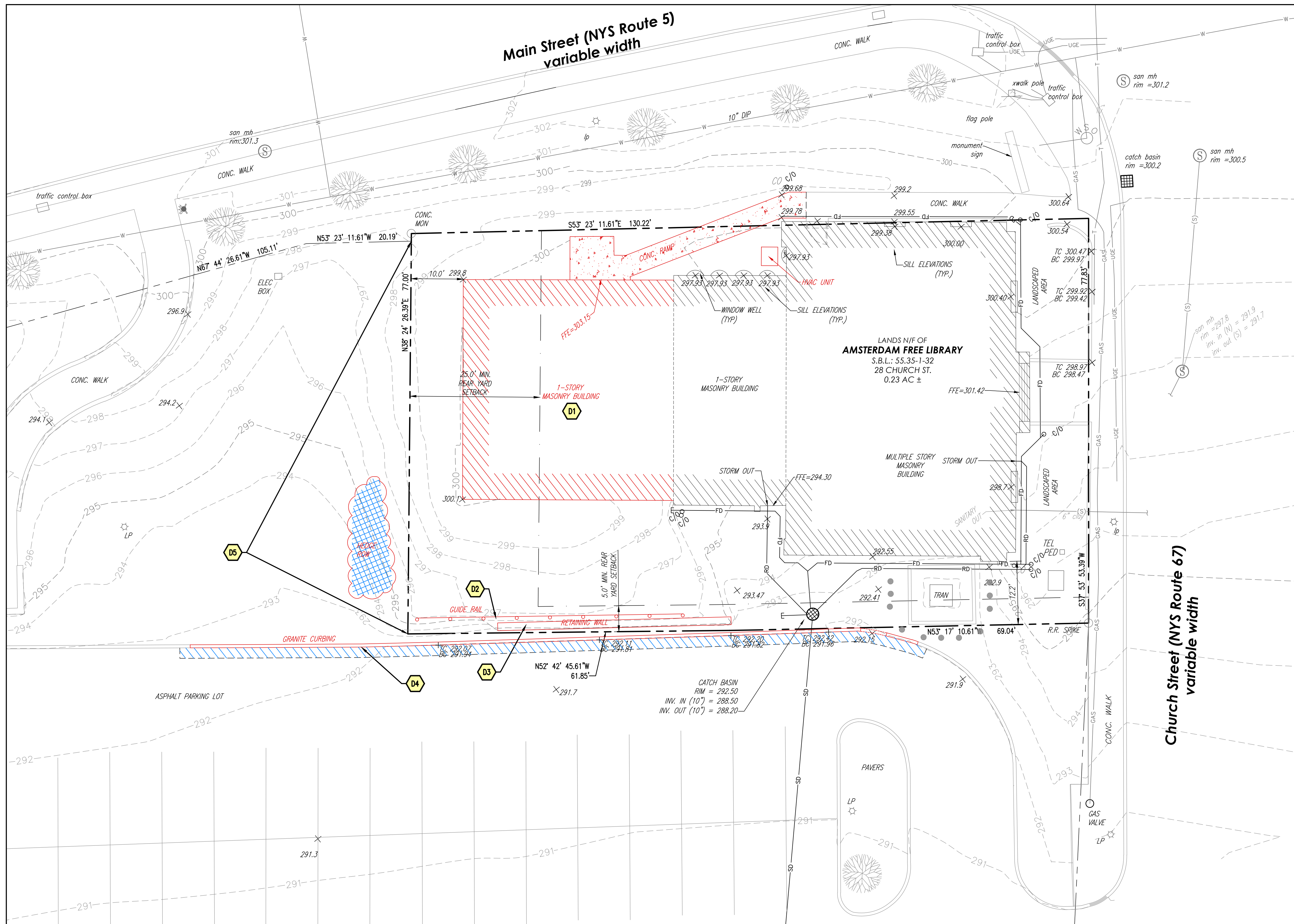
SITE LEGEND AND NOTES

John G. Waite Architects PLLC
 64 Fulton Street, Suite 402
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AMSTERDAM FREE LIBRARY
 28 CHURCH STREET

SCALE AS NOTED
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C001



DEMOLITION ITEMS

- UTILITY TO BE DEMOLISHED.
- ASPHALT PAVEMENT AND SUBBASE TO BE DEMOLISHED.
- CONCRETE OR PAVEMENT TO BE DEMOLISHED.
- HEDGE ROW TO BE DEMOLISHED.
- SITE FEATURE TO BE DEMOLISHED.
- SAWCUT AND MILL EDGE.
- D1** 1-STORY MASONRY BUILDING TO BE DEMOLISHED. SEE ARCHITECTURAL PLANS.
- D2** GUIDE RAILING TO BE DEMOLISHED.
- D3** RETAINING WALL TO BE DEMOLISHED.
- D4** GRANITE CURBING TO BE REMOVED. SALVAGE PIECES IN GOOD CONDITION TO BE REUSED/RE-SET. SEE SITE PLAN.
- D5** LOT LINE TO BE EXTINGUISHED.

SURVEY NOTES

- EXISTING PHYSICAL FEATURES, BOUNDARIES, AND TOPOGRAPHY SHOWN FOR THE INVOLVED PARCELS ARE BASED ON THE FOLLOWING:
 - THE PLAN ENTITLED "OVERALL EXISTING CONDITIONS PLAN, AMSTERDAM FREE LIBRARY," PREPARED BY KAMBE ENGINEERING AND LAND SURVEYING, PC, DATED FEBRUARY 12, 2021, AND BASED ON A FIELD SURVEY CONDUCTED IN NOVEMBER 2020.
 - THE PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF THE LANDS OF AMSTERDAM FREE LIBRARY & THE CITY OF AMSTERDAM," PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS LLP, AND DATED MARCH 24, 2026.
- THE INFORMATION MAY NOT REFLECT CURRENT CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES, CONFLICTS, OR UNEXPECTED CONDITIONS ENCOUNTERED DURING CONSTRUCTION.
- ENGINEERING VENTURES HAS NOT PERFORMED ANY BOUNDARY OR TOPOGRAPHIC SURVEYS. THE PROPERTY LINES, EASEMENTS, AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THESE PLANS DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN NY STATUTES, AND SHALL NOT BE USED AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- CONTOUR INTERVAL DEPICTED HEREIN IS TWO (2) FEET.
- UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND RECORD DRAWINGS AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION.
- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES.
- THE OFFSETS OR DIMENSIONS SHOWN HEREON, FROM THE PROPERTY LINES TO THE STRUCTURES, ARE FOR A SPECIFIC PURPOSE AND USE; THEREFORE, THEY ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES, ADDITIONAL STRUCTURES, OR ANY OTHER IMPROVEMENT.
- EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY.
- SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

MAP DATUMS:

- VERTICAL DATUM: NAVD 88.
- HORIZONTAL DATUM: NEW YORK STATE, NEW YORK EAST ZONE, NAD 83/2011.
- EPOCH 2010.00

MAP REFERENCES:

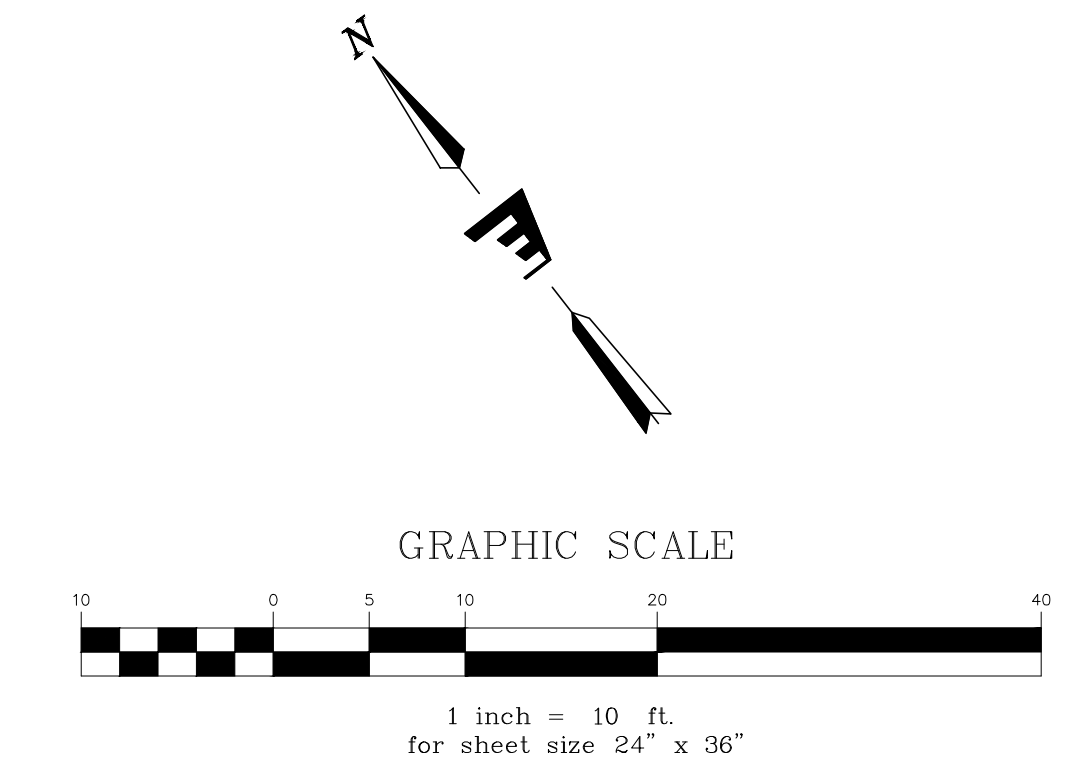
- AS SHOWN ON "NEW YORK STATE DEPARTMENT OF TRANSPORTATION DESCRIPTION AND MAP FOR THE ACQUISITION OF PROPERTY, CITY OF AMSTERDAM, EAST-WEST ARTERIAL HIGHWAY, WALL STREET TO WASHINGTON STREET, MONTGOMERY COUNTY, MAP NO. 216, PARCEL NO 217" PREPARED UNDER THE DIRECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION BEARING A DATE OF FEBRUARY 10, 1976.
- AS SHOWN ON "NEW YORK STATE DEPARTMENT OF TRANSPORTATION DESCRIPTION AND MAP FOR THE ACQUISITION OF PROPERTY, CITY OF AMSTERDAM, EAST-WEST ARTERIAL HIGHWAY, WALL STREET TO WASHINGTON STREET, MONTGOMERY COUNTY, MAP NO. 225-D, PARCEL NO 231" PREPARED UNDER THE DIRECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION BEARING A DATE OF AUGUST 11, 1980.
- AS SHOWN ON "NEW YORK STATE DEPARTMENT OF TRANSPORTATION DESCRIPTION AND MAP FOR THE CONVEYANCE OF PROPERTY, CITY OF AMSTERDAM, EAST-WEST ARTERIAL HIGHWAY, WALL STREET TO WASHINGTON STREET, MONTGOMERY COUNTY, MAP NO. 10-C, PARCEL NO 230" PREPARED UNDER THE DIRECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION BEARING A DATE OF JANUARY 19, 1982.
- AS SHOWN ON "SURVEY MAP OF LANDS OF AMSTERDAM FREE LIBRARY, CITY OF AMSTERDAM, COUNTY OF MONTGOMERY, STATE OF NEW YORK" PREPARED BY FERGUSON & FOSS, PROFESSIONAL LAND SURVEYORS, P.C. BEARING A DATE OF SEPTEMBER 28, 2020.

DEMOLITION NOTES

- ALL DEMOLITION ITEMS FROM THE DEMOLITION, UNLESS NOTED BY THE OWNER TO BE STORED OR REUSED, BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE. SOIL DISPOSAL SHALL BE AS DIRECTED BY OWNER. ALL DEMOLITION MATERIALS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING, BUT NOT LIMITED TO THE CITY OF AMSTERDAM. ALL DEMOLITION ITEMS SHALL BE DISPOSED OF AT AN APPROVED AND PERMITTED FACILITY.
- ALL ADJACENT FACILITIES AND STRUCTURES NOT INDICATED AS INCLUDED IN THE SCOPE OF WORK, SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ALL ADJACENT FACILITIES OR STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO PRE-CONSTRUCTION CONDITION OR BETTER AS DETERMINED BY THE ENGINEER.
- EXISTING UTILITY CONNECTIONS, INCLUDING WATER, SANITARY SEWER, NATURAL GAS, OVERHEAD & BURED ELECTRIC, TELEPHONE, CABLE, ETC., IDENTIFIED FOR REMOVAL, SHALL BE TERMINATED AT THE SERVICE MAIN IN ACCORDANCE WITH THE UTILITY COMPANY OR CITY REQUIREMENTS. ALL ABANDONED ONSITE PIPING, WIRING, CONDUITS & STRUCTURES SHALL BE REMOVED.
- DEMOLITION SHALL INCLUDE, BUT IS NOT LIMITED TO, REMOVAL OF: SURFACE PAVEMENTS, CONCRETE SIDEWALKS AND PADS, CONCRETE CURBS, SUBBASE MATERIALS, RETAINING WALLS, ACCESSORY STRUCTURES, VINYL AND CHAINLINK FENCING, UTILITY PIPING AND ASSOCIATED UTILITY STRUCTURES, AND ALL OTHER STRUCTURES NOT SCHEDULED TO REMAIN.
- IF HAZARDOUS MATERIALS OR WASTE IS ENCOUNTERED DURING DEMOLITION WORK, THE CONTRACTOR SHALL CONTACT THE REGULATORY AGENCIES AND COMPLY WITH THE JURISDICTIONAL REQUIREMENTS. HAZARDOUS MATERIALS AND WASTES MUST BE REMOVED BY A PERMITTED HAZARDOUS WASTE CONTRACTOR TO A HAZARDOUS WASTE SITE PERMITTED TO ACCEPT THE CHARACTERIZED WASTE.
- TAKE ALL PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK AREA DURING DEMOLITION PROCEDURES. THE CONTRACTOR SHALL MINIMIZE DUST AND NOISE POLLUTION GENERATED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- PRIOR TO DEMOLITION, HAND EXCAVATE ANY UNDERGROUND UTILITIES. NOTIFY THE OWNER AND ENGINEER IF ANY OTHER UTILITIES NOT NOTED ON THE DRAWINGS ARE FOUND.
- CARE SHALL BE TAKEN NOT TO DAMAGE OR DISTURB ANY TREES NOT CALLED OUT FOR REMOVAL DURING CONSTRUCTION. KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT OUTSIDE OF DRIP LINE OF EXISTING TREES TO REMAIN AND NEWLY INSTALLED TREES.
- ALL DEPRESSIONS OR VOIDS IN THE GROUND SURFACE RESULTING FROM DEMOLITION WORK SHALL BE BACKFILLED WITH CLEAN, IMPORTED STRUCTURAL FILL AND SHALL BE COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
- ALL CONCRETE SIDEWALK AND CONCRETE CURBING SHOWN TO BE REMOVED SHALL BE REMOVED TO THE NEAREST JOINT.

UTILITY NOTE

- INFORMATION REGARDING THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS A COMPILATION OF THAT FOUND IN THE FIELD, THAT SHOWN ON PREVIOUS PLANS, AND SHALL NOT BE CONSIDERED AN AS-BUILT PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN UTILITIES AS SHOWN AND AS FOUND. THE CONTRACTOR SHALL CONTACT DIG SAFE (811 OR 888-344-7233) A MINIMUM OF 72 HOURS, BUT NOT INCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS, PRIOR TO ANY CONSTRUCTION.



C101

NOT FOR CONSTRUCTION

EXISTING CONDITIONS AND DEMOLITION PLAN

Architects
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Albany, NY 12207
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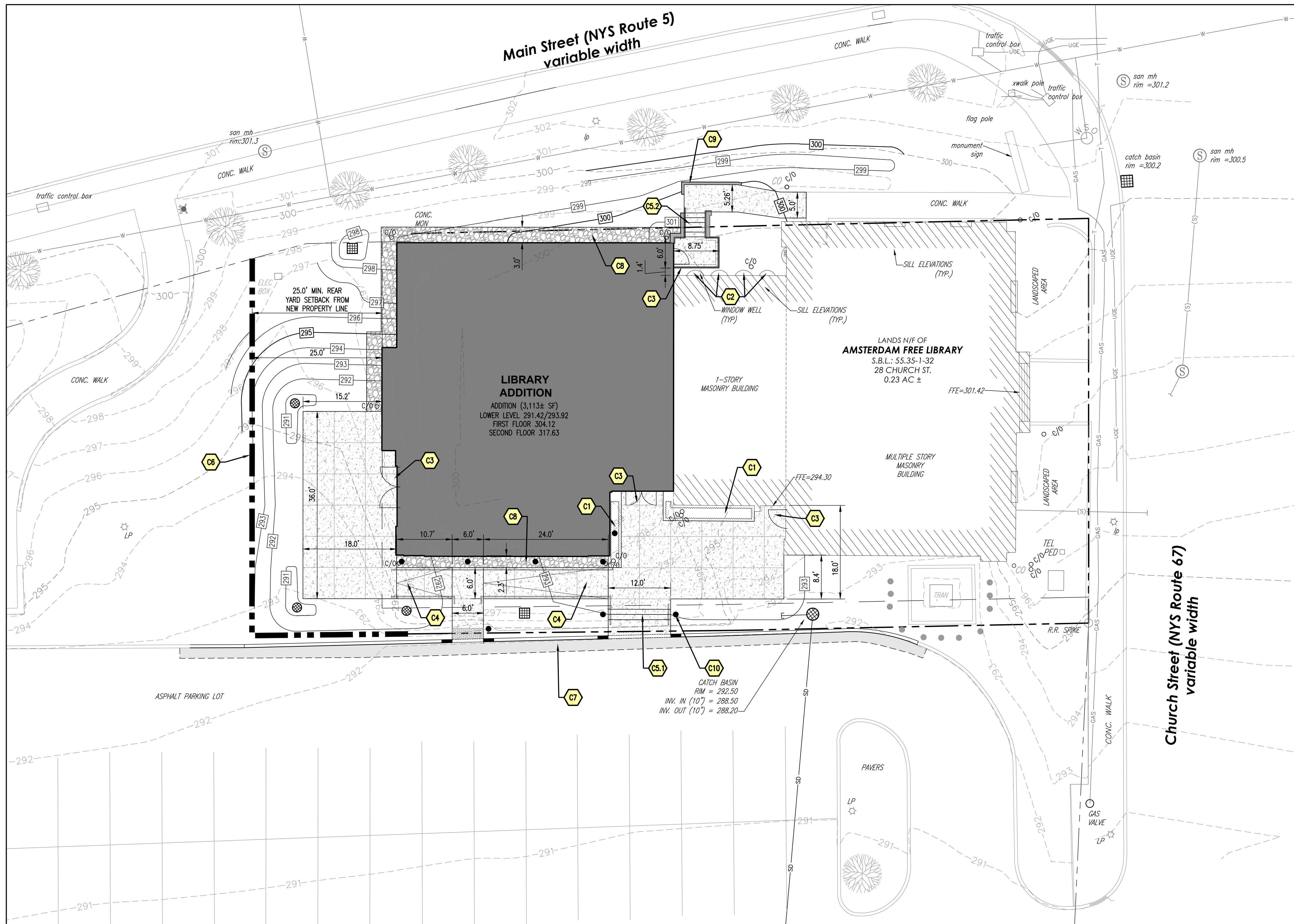
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AMSTERDAM FREE LIBRARY
28 CHURCH STREET

SCALE	AS NOTED
PROJECT NO.	202-07-1
DRAWN BY	MHD
DATE	APRIL 3, 2026
REVISED	-

C101





SITE LEGEND

- BUILDING ADDITION. SEE SITE DETAILS ON SHEET C501 & C502
- ASPHALT PAVEMENT. REFER TO DETAILS 1 & 3/C501.
- CONCRETE SIDEWALKS. REFER TO DETAILS 5, 6, 8/C501
- DECORATIVE STONE WITH UNDERDRAIN. REFER TO DETAIL 4/C503
- SLOPED CURB TRANSITION
- 6" REVEAL GRANITE CURBING. REFER TO DETAIL 2/C501.
- FULLY DEPRESSED/FLUSH GRANITE CURBING. REFER TO DETAIL 2/C501.
- DETECTABLE WARNING STRIP

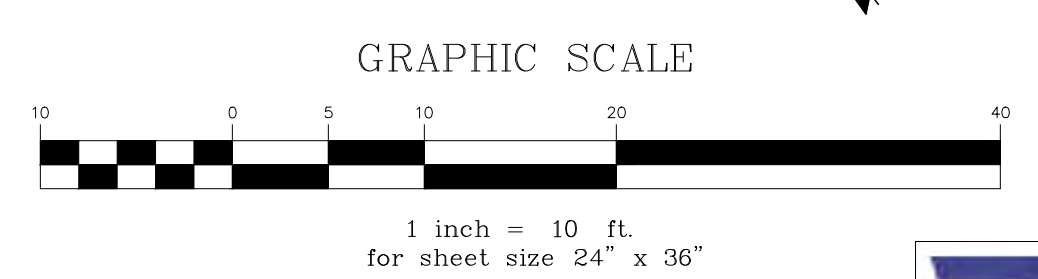
SITE NOTES

- C1** LANDSCAPE AREA.
- C2** ADJUST/REPLACE WINDOW WELLS AS REQUIRED. TOP OF WINDOW WELL SHALL BE 6" MINIMUM ABOVE ADJACENT GRADE.
- C3** FROST PROTECTED ENTRY SLAB. REFER TO STRUCTURAL DRAWINGS
- C4** ADA COMPLIANT RAMP AND RAILING. REFER TO DETAIL 2/C502
- C5.1** CONCRETE STAIR. REFER TO DETAIL 1/C502
3 RISERS AT 7" EACH
2 TREADS AT 12" EACH
MIN ELEV = 291.86
MAX ELEV = 293.61
- C5.2** FROST PROTECTED LANDING AND STAIR. REFER TO DETAILED PLAN ON SHEET C502 AND STRUCTURAL DRAWINGS.
6 RISERS AT 7" EACH
5 TREADS AT 11" EACH
MIN ELEV = 300.57
MAX ELEV = 304.05
- C6** ADJUSTED PROPERTY LINE.
- C7** SAWCUT PAVEMENT AND PAVEMENT REPLACEMENT FOR INSTALLATION OF CURBING
- C8** STONE DRIPEDGE AND FOUNDATION DRAIN (SEE SHEET C103)
- C9** CONCRETE RETAINING WALL ALONG EDGE OF SIDEWALK
MAX WALL HEIGHT = 18"
SEE GRADES ON "NORTH ENTRANCE/STAIR DETAILS PLAN VIEW" ON SHEET C502
- C10** SITE BOLLARD LIGHT, TYP OF 8. USE FLINDT GARDEN BOLLARD MODEL 5747408847 OR APPROVED EQUIVALENT. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR BASE AND EMBEDMENT.

ZONING REQUIREMENTS AND LAND USE

ZONING DISTRICT: DOWNTOWN CORE/HISTORIC RESOURCES OVERLAY ZONE
 PROPOSED USE: CIVIC CENTER (LIBRARY)

	LOT SIZE (MIN.)	LOT WIDTH (MIN.)	LOT DEPTH (MIN.)	BUILDING HEIGHT (MAX.)	FRONT YARD SETBACK (MAX.)	SIDE YARD SETBACK (MIN.)	REAR YARD SETBACK (MIN.)	BUILDING COVERAGE (MAX.)
REQUIRED	5,000 SF	50 FT.	100 FT.	150 FT	20 FT.	5 FT.	20 FT.	60%
EXISTING	10,125 SF	77 FT	130.22 FT	49.7 FT.	0 FT	12.2 FT	10.0 FT.	54.9% (5,557 SF)
PROVIDED	12,395 SF	72.8 FT	160.8 FT	49.7 FT.	0 FT	12.2 FT	25 FT.	56.1% (6,957 SF)



ENGINEERING VENTURES PC
 Vermont • New Hampshire • New York
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 85 Mechanic Street, Suite E2-3, Lebanon, NH 03766 | (603) 442-9333
 368 Broadway, Suite 11, Saratoga Springs, NY 12866 | (518) 205-9141
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C102

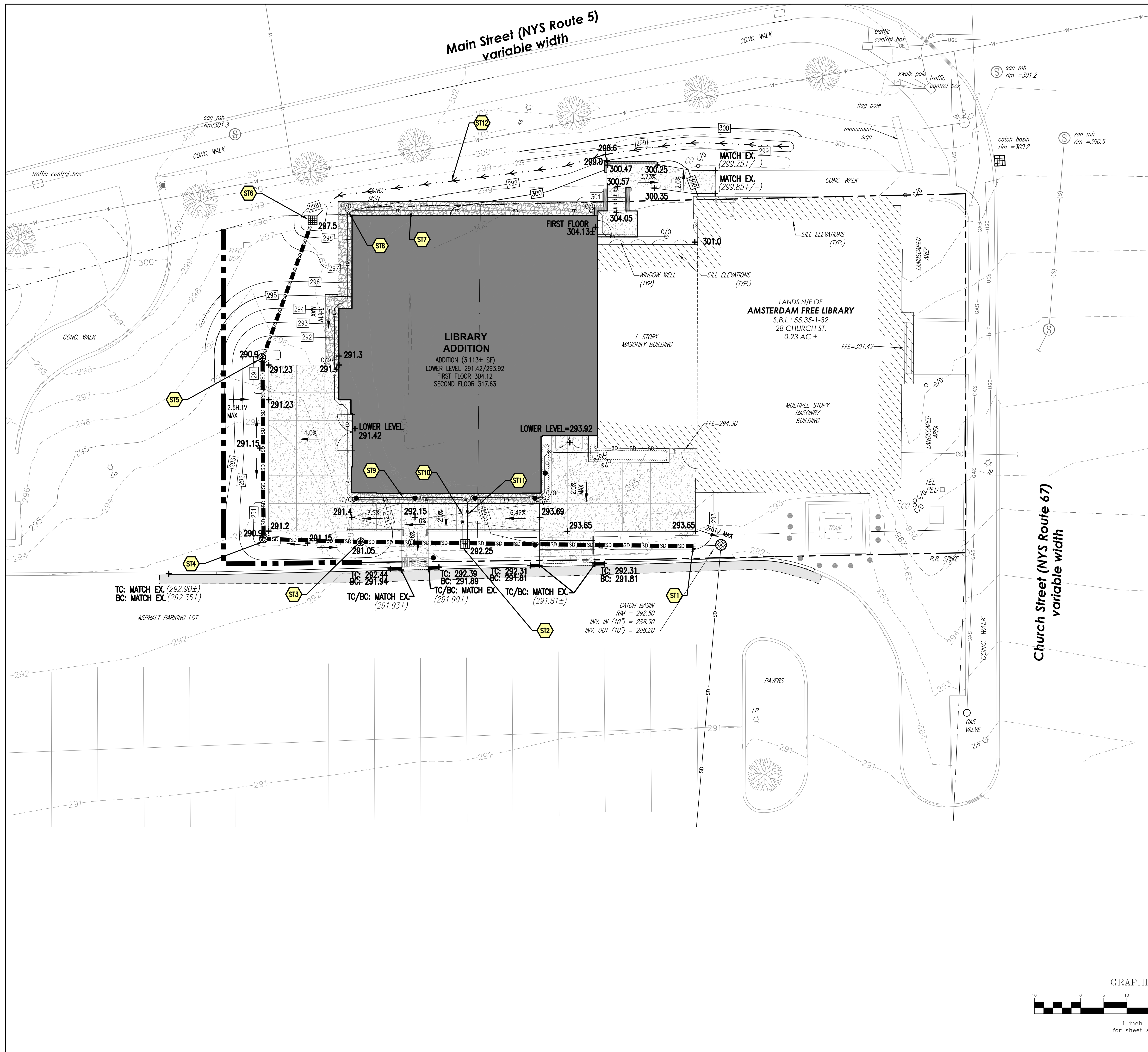
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SITE PLAN

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AMSTERDAM FREE LIBRARY
 28 CHURCH STREET

C102

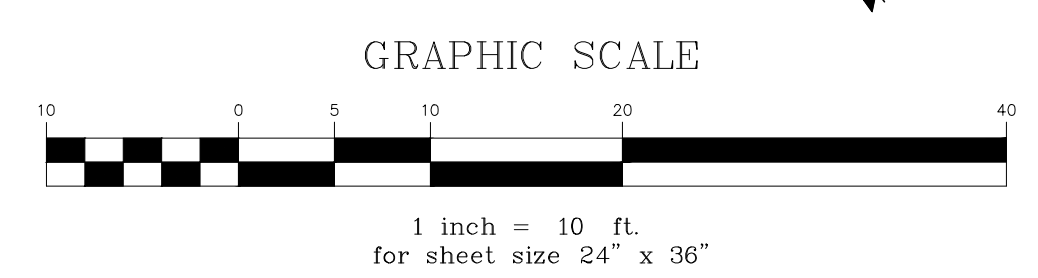
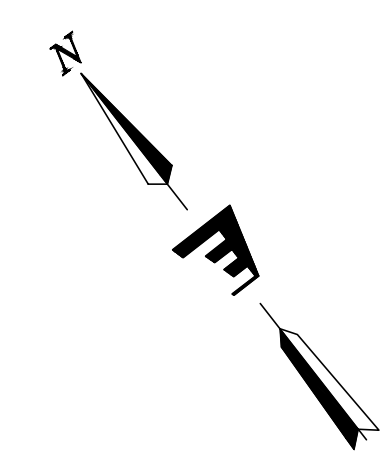


STORMWATER STRUCTURE SCHEDULE

- ST1 CONTRACTOR TO VERIFY THE INVERT AND LOCATION OF THE EXISTING PIPE STUB. CONNECT TO EXISTING 10" PVC PIPE STUB INV (10") 288.20+/-
- ST2 4' I.D. CATCH BASIN
RIM 292.25
INV. IN (6") 288.50
INV. IN (6") 288.50
INV. IN (10") 288.50
INV. OUT (10") 288.50
SUMP 286.50
- ST3 18" YARD DRAIN
USE NYLOPLAST OR APPROVED EQUIVALENT
RIM 291.05
INV. IN (10") 288.62
INV. OUT (10") 288.62
SUMP 286.62
- ST4 18" YARD DRAIN
USE NYLOPLAST OR APPROVED EQUIVALENT
RIM 290.90
INV. IN (10") 288.73
INV. OUT (10") 288.73
SUMP 286.73
- ST5 18" YARD DRAIN
USE NYLOPLAST OR APPROVED EQUIVALENT
RIM 290.90
INV. IN (10") 288.93
INV. OUT (10") 288.93
SUMP 286.93
- ST6 4' I.D. CATCH BASIN
RIM 297.50
INV. OUT (10") 293.50
SUMP 291.50
- ST7 6" PERFORATED PVC FOUNDATION DRAIN, TYP.
- ST8 6" STORM CLEANOUT, TYP.
- ST9 STONE DRIP EDGE. SEE DETAIL 4/C503
- ST10 6" SOLID PVC DRIP EDGE OUTLET PIPE.
INV. AT DRIPEDGE 288.90
- ST11 6" SOLID PVC FOUNDATION DRAIN OUTLET.
INV. AT CLEANOUT 288.59
- ST12 GRASSED CHANNEL
SLOPE = 1.0%
BOTTOM WIDTH = 2'-0"
SIDE SLOPES = 2H:1V MAX
(REFER TO DETAIL 4/C501)

STORMWATER STRUCTURE SCHEDULE

- ST2 TO ST1 55 LF OF 10" PVC AT 0.54%
- ST3 TO ST2 23 LF OF 10" PVC AT 0.52%
- ST4 TO ST3 21 LF OF 10" PVC AT 0.52%
- ST5 TO ST4 39 LF OF 10" PVC AT 0.51%
- ST6 TO ST5 32 LF OF 10" PVC AT 14.28%
- ST10 TO ST2 9 LF OF 6" PVC AT 4.44%
- ST11 TO ST2 10 LF OF 6" PVC AT 0.90%



C103

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GRADING & UTILITY PLAN

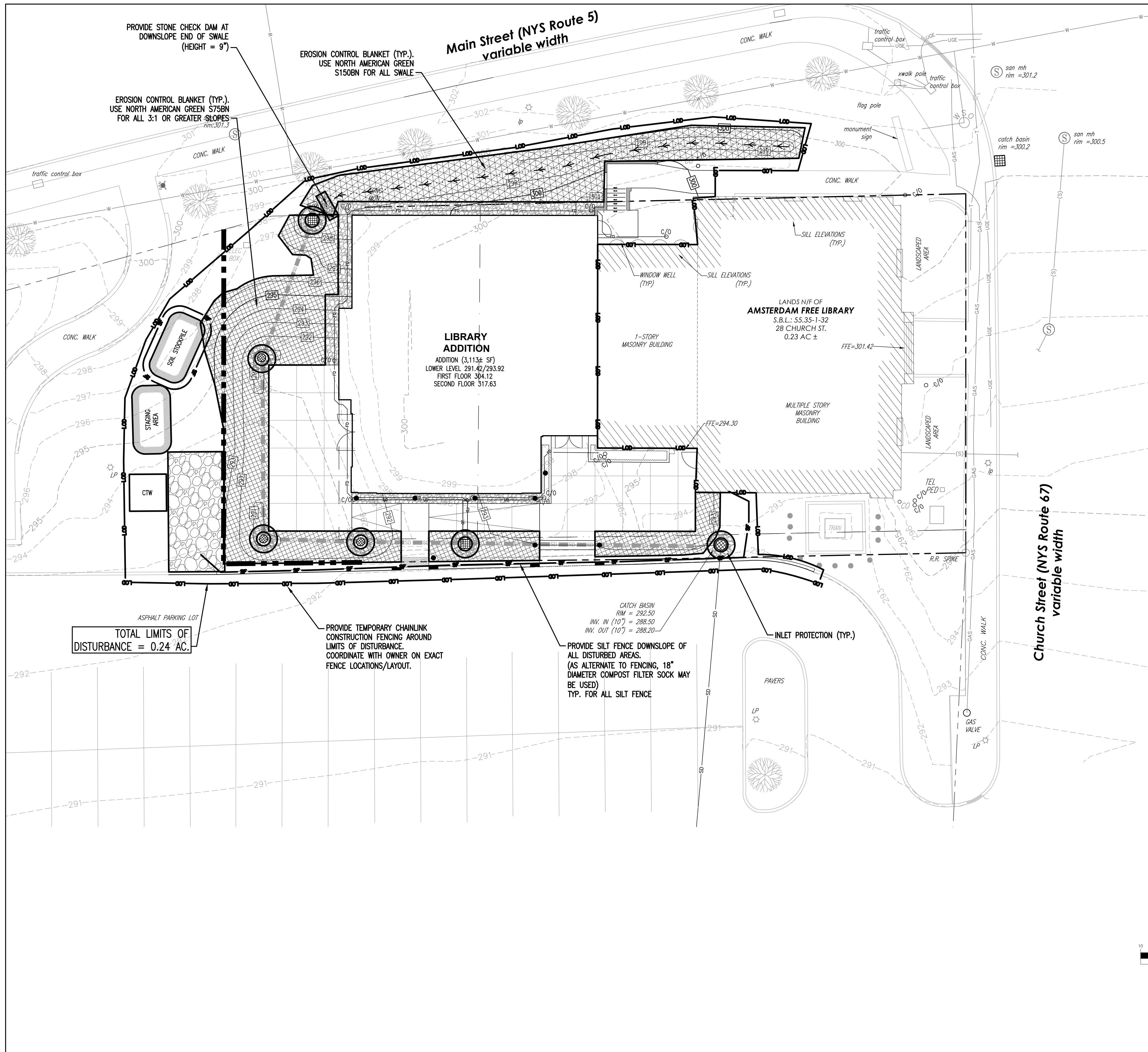
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EROSION CONTROL LEGEND AND NOTES

- TEMPORARY INLET PROTECTION** - STONE COLLARS AND/OR INLET SOCKS. INSTALL AS INDICATED ON PLANS. STONE TO BE REMOVED AND REPLACED WITH CLEAN STONE WHEN SEDIMENT IS $\leq 1/2$ DEPTH OF STONE. REMOVE ALL SEDIMENT COLLECTED IN STRUCTURE OR SOCK AS SOON AS POSSIBLE.
- STONE CHECK DAM**
THIS STRUCTURAL MEASURE IS ALONG DITCHES/ SWALES AND IN OTHER LOCATIONS INDICATED ON THIS PLAN TO SLOW STORMWATER RUNOFF AND TRAP SEDIMENT PARTICLES. THESE WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED.
- PERMANENT EROSION CONTROL NETTING**
THIS STRUCTURAL MEASURE IS INSTALLED IN AREAS THAT HAVE SLOPES 3:1 AND GREATER AND IN OTHER LOCATIONS INDICATED ON THIS PLAN TO STABILIZE THE SLOPE AND REDUCE THE EROSION POTENTIAL. THE NETTING IS TYPICALLY IMPREGNATED WITH GRASS SEED AND SOMETIMES STAPLED TO THE EXPOSED SOIL. THESE WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED.
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCE**
THIS STRUCTURAL MEASURE IS A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH FILTER FABRIC LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF-WAY, STREET, ALLEY, SIDEWALK, OR PARKING AREA. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS. THIS WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED. ONCE REMOVED, THE IMPACTED AREA SHALL BE SEEDED AND MULCHED.
- TEMPORARY STAGING AND WASTE AREAS (APPROXIMATE)**
THESE ARE APPROVED LOCATIONS WHERE NON-SOLUBLE MATERIALS MAY BE STORED. SOILS SHALL NOT BE STORED IN THESE AREAS.
- TEMPORARY SOIL STOCKPILE AREAS (APPROXIMATE)**
THESE ARE APPROVED LOCATIONS WHERE TOPSOIL AND OTHER SOIL MATERIALS MAY BE STORED. THESE STOCKPILES WILL BE PROTECTED FROM EROSION BY A NUMBER OF METHODS, INCLUDING INSTALLING SILT FENCING AROUND THE DOWN GRADIENT PERIMETER OF THE STOCKPILE AND SEEDING AND MULCHING THE STOCKPILE WHEN NOT IN USE FOR MORE THAN FIVE DAYS.
- TEMPORARY SILT FENCING**
THIS STRUCTURAL MEASURE IS A TEMPORARY BARRIER OF GEOTEXTILE FABRIC USED TO INTERCEPT SEDIMENT LAIDEN RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. IT IS INSTALLED ALONG THE PERIMETER OF IMPACTED AREAS AND ALONG THE BASE OF THE HILL SLOPES. ADDITIONALLY, WHEN DESIGNATED ALONG THE LIMITS OF DISTURBANCE, INSTALL CONSTRUCTION FENCE BEHIND THE SILT FENCE. SILT FENCING IS EFFECTIVE IN REDUCING STORMWATER RUNOFF VELOCITIES, ASSIST IN THE DEPOSITION OF TRANSPORTED SEDIMENT LOAD AND PREVENT EROSION OF SOILS ONTO ADJACENT AREAS. THESE WILL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE PROJECT SITE HAS BEEN PERMANENTLY STABILIZED.
- LIMITS OF DISTURBANCE**
THE CONTRACTOR SHALL CONTAIN ANY EARTH MOVING ACTIVITIES WITHIN THE DESIGNATED LIMITS SHOWN ON THIS PLAN. THE ENGINEER SHALL REVIEW THE SITE TO MAKE ANY ADJUSTMENTS TO ACCOUNT FOR ENVIRONMENTALLY SENSITIVE AREAS, SPECIMEN TREES AND SPECIAL AREAS OF CONCERN.
- CONCRETE TRUCK WASHOUT**
THIS IS AN APPROVED LOCATION WHERE CONCRETE TRUCK MIXERS AND EQUIPMENT CAN BE WASHED AFTER THEIR LOADS HAVE BEEN DISCHARGED, TO PREVENT HIGHLY ALKALINE RUNOFF FROM ENTERING STORM DRAINAGE SYSTEMS OR LEACHING INTO THE SOIL. THE FACILITY SHALL BE LINED TO PREVENT RUNOFF FROM LEACHING INTO THE SOIL. TEMPORARY SIGNAGE SHALL BE PROVIDED TO DIRECT DRIVERS TO THE FACILITY.

DUST CONTROL
DUST SHALL BE CONTROLLED THROUGH APPLICATION OF WATER, AS REQUIRED TO PREVENT MIGRATION BEYOND THE PROJECT LIMITS. CONTROL OF DUST REMAINS AN ONGOING RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED.

INSPECTION REQUIREMENTS
THE SITE WORK CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF ALL EROSION AND SEDIMENT CONTROL MEASURES EVERY 7 DAYS AND AS SOON AS REASONABLY POSSIBLE DURING OR AFTER RUNOFF EVENTS RESULTING IN RUNOFF FROM THE SITE.

FULL COMPLIANCE WITH THE REQUIREMENTS OF NEW YORK STATE EROSION AND SEDIMENT CONTROL MANUAL (2016) IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.

VEGETATIVE STABILIZATION
ALL SEEDING FOR VEGETATIVE STABILIZATION IS TO TAKE PLACE BETWEEN APRIL 15TH AND SEPTEMBER 15TH UNLESS OTHERWISE APPROVED.

STABILIZATION REQUIREMENTS
TO BE CONSIDERED PERMANENTLY STABILIZED, ALL DISTURBED AREAS MUST BE PROTECTED BY ONE OF THE FOLLOWING: PAVEMENT, GRAVEL, MULCH BEDS, OR VEGETATION (70% MINIMUM COVERAGE). THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL SEDIMENT CONTROL MEASURES (SILT FENCE, DISTURBANCE LIMIT MARKERS, INLET PROTECTION, ETC.) AND FOR RESTORATION OF ALL STAGING AND SOIL STOCKPILE AREAS BEFORE FILING NOTICE OF TERMINATION.

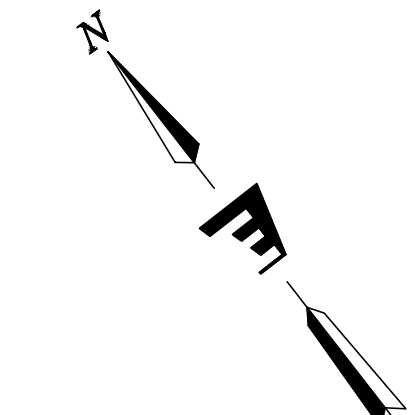
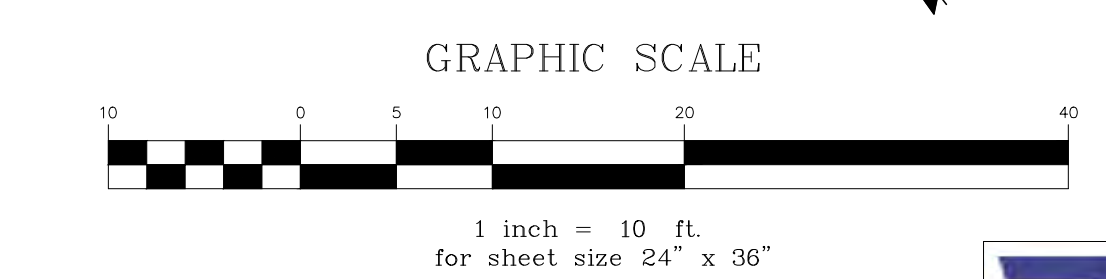
SOLID WASTE DISPOSAL
SOLID WASTES SHALL BE COLLECTED ON SITE AND REMOVED TO AN APPROVED OFF-SITE FACILITY.

TOTAL LIMITS OF DISTURBANCE = 0.24 AC.

PROVIDE TEMPORARY CHAINLINK CONSTRUCTION FENCING AROUND LIMITS OF DISTURBANCE. COORDINATE WITH OWNER ON EXACT FENCE LOCATIONS/LAYOUT.

PROVIDE SILT FENCE DOWNSLOPE OF ALL DISTURBED AREAS. (AS ALTERNATE TO FENCING, 18" DIAMETER COMPOST FILTER SOCK MAY BE USED) TYP. FOR ALL SILT FENCE

CATCH BASIN
RIM = 292.50
INV. IN (10") = 288.50
INV. OUT (10") = 288.20



C104

NOT FOR CONSTRUCTION

EROSION & SEDIMENT CONTROL PLAN

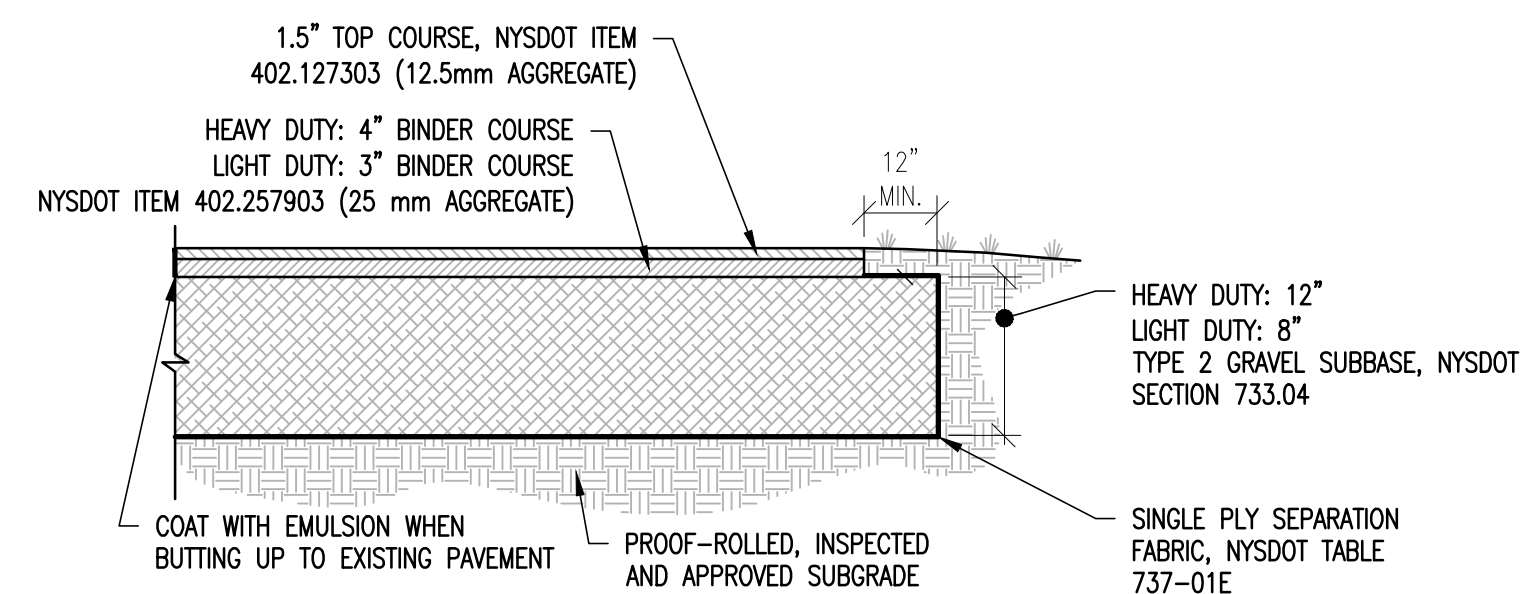
John G. Waite Architects, PLLC
64 Fulton Street, Suite 402
New York, NY 10003
212.619.4881 (tel)
212.619.4882 (fax)

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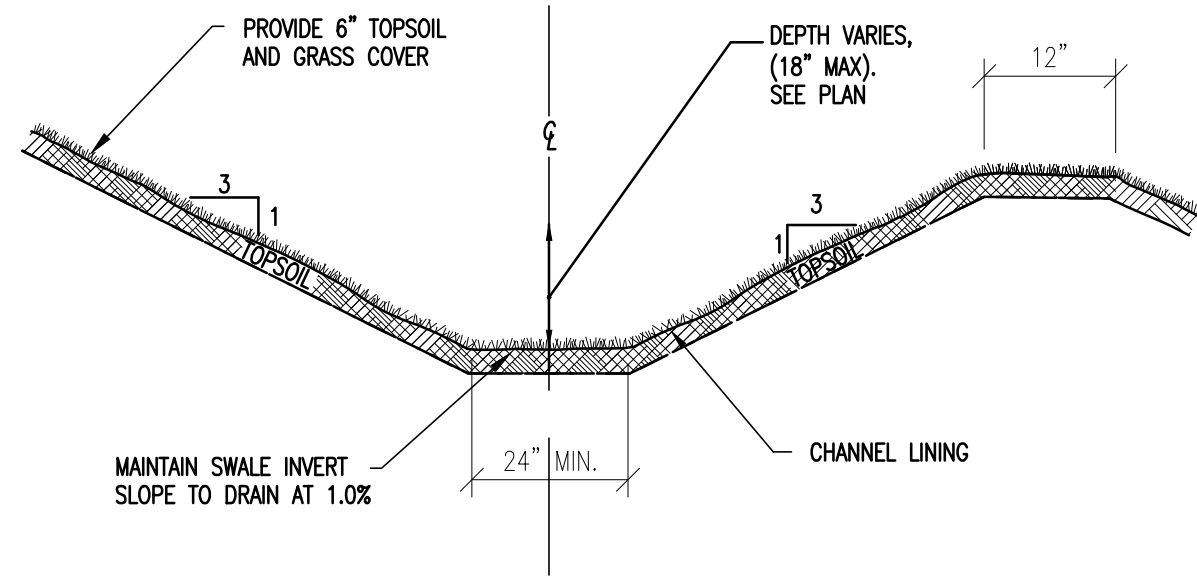
ENGINEERING VENTURES PC
Vermont • New Hampshire • New York
208 Flynn Avenue, Suite 2A, Burlington, VT 05401 | (802)863-8225
85 Mechanic Street, Suite E2-3, Lebanon, NH 03766 | (603) 442-9333
368 Broadway, Suite 11, Saratoga Springs, NY 12866 | (518) 206-9141
www.engineeringventures.com



NOTES:
 1. REFER TO SITE/EARTHWORK SPECIFICATIONS FOR PREPARATION OF SUBGRADE, PLACEMENT OF FILL MATERIALS (INCLUDING GRAVEL SUBBASE), COMPACTION REQUIREMENTS, AND TESTING REQUIREMENTS.

ASPHALT PAVEMENT DETAIL 1

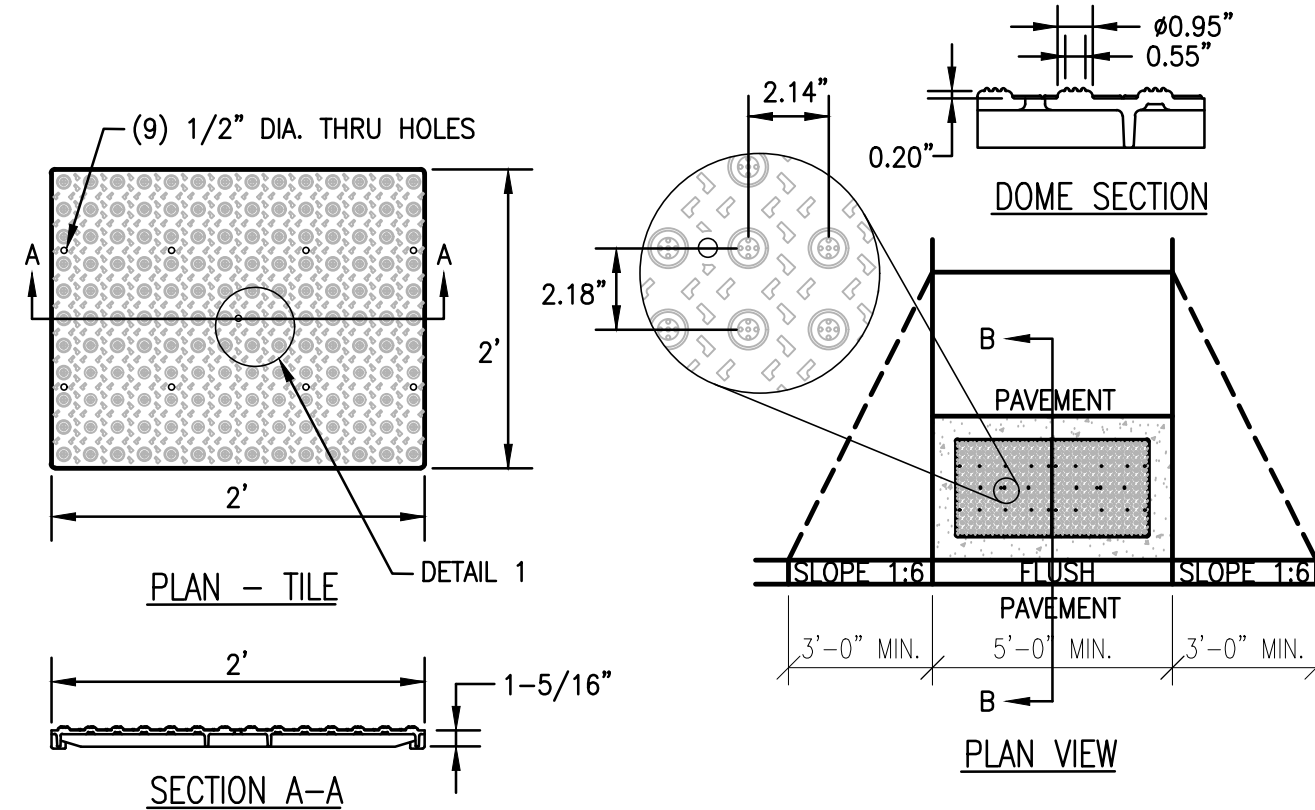
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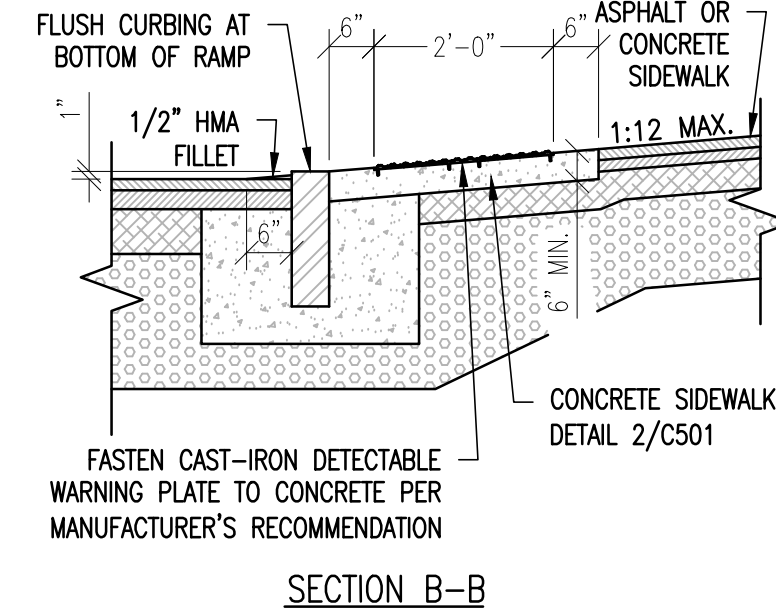
GRASSSED SWALE NOTES:
 1. PROVIDE CHANNEL LINING SC150 BY NORTH AMERICAN GREEN AS REQUIRED TO STABILIZE NEW VEGETATED SWALES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

GRASSSED SWALE DETAIL 4

NOT TO SCALE

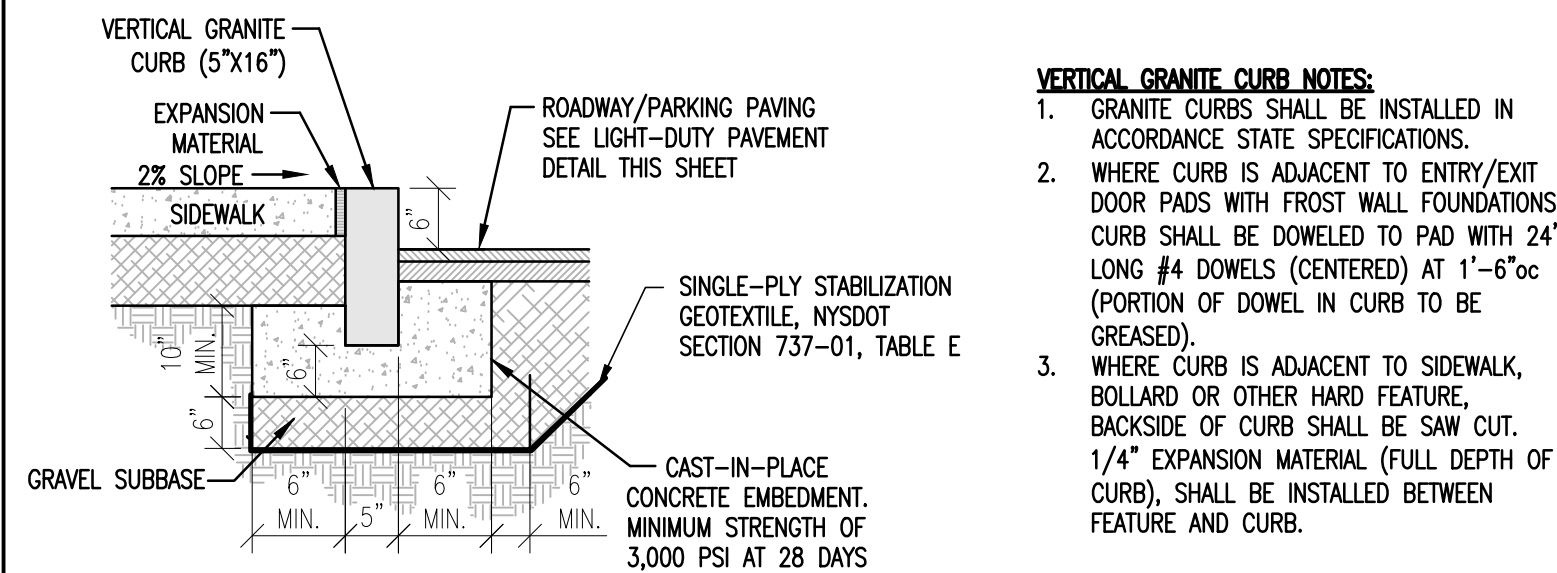


NOTES:
 1. DETECTABLE WARNING PLATES SHALL BE ARMOR-TILE CAST IN PLACE POLYMER COMPOSITE OR APPROVED EQUAL.
 2. DETECTABLE WARNING PLATES SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
 3. DETECTABLE WARNING PLATES SHALL BE INSTALLED AND FASTENED IN PLACE ACCORDING TO THE MANUFACTURER'S REQUIREMENTS.
 4. LOCATE THE DETECTABLE WARNING SURFACE AT THE BACK OF THE CURB.



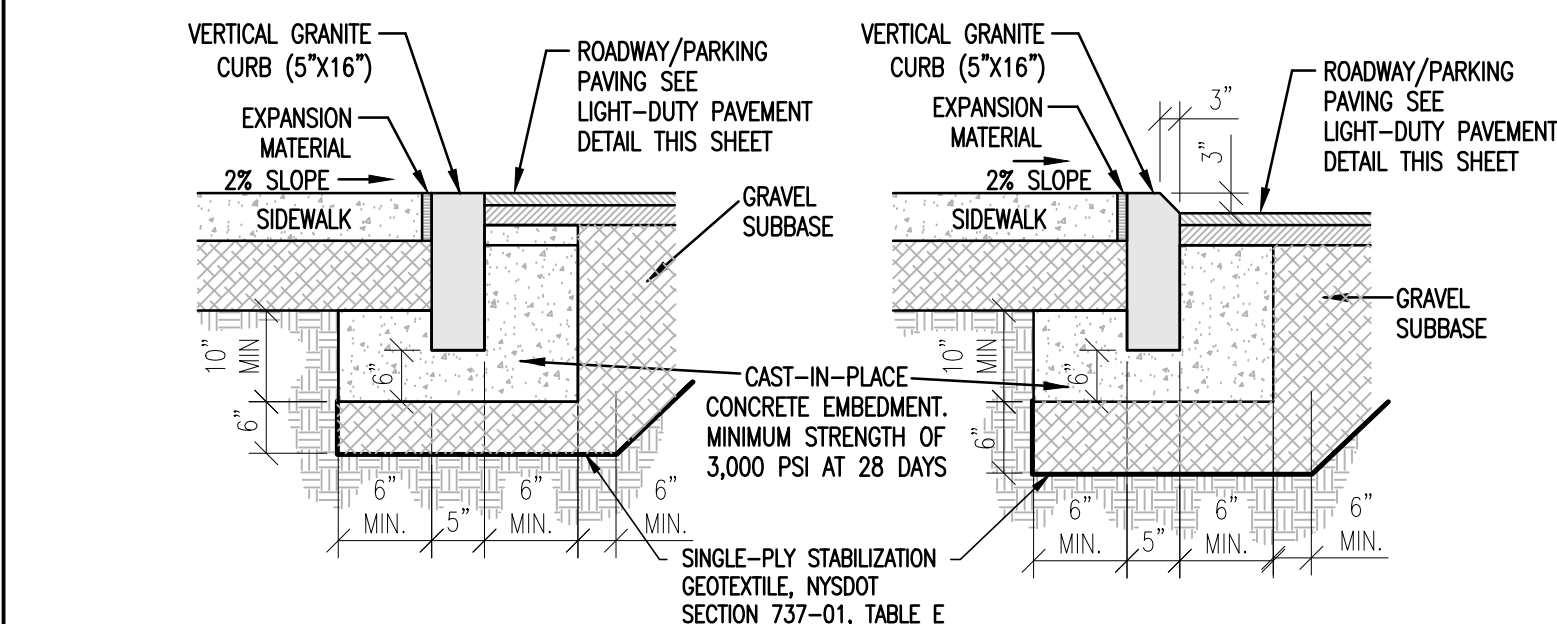
ACCESSIBLE RAMP DETECTABLE WARNING PLATES 7

NOT TO SCALE



VERTICAL GRANITE CURB NOTES:
 1. GRANITE CURBS SHALL BE INSTALLED IN ACCORDANCE STATE SPECIFICATIONS.
 2. WHERE CURB IS ADJACENT TO ENTRY/EXIT DOOR PADS WITH FROST WALL FOUNDATIONS, CURB SHALL BE DOWELED TO PAD WITH 24\"/>

DETAIL A - VERTICAL CURB



DETAIL B - FLUSH CURB DETAIL C - MOUNTABLE CURB

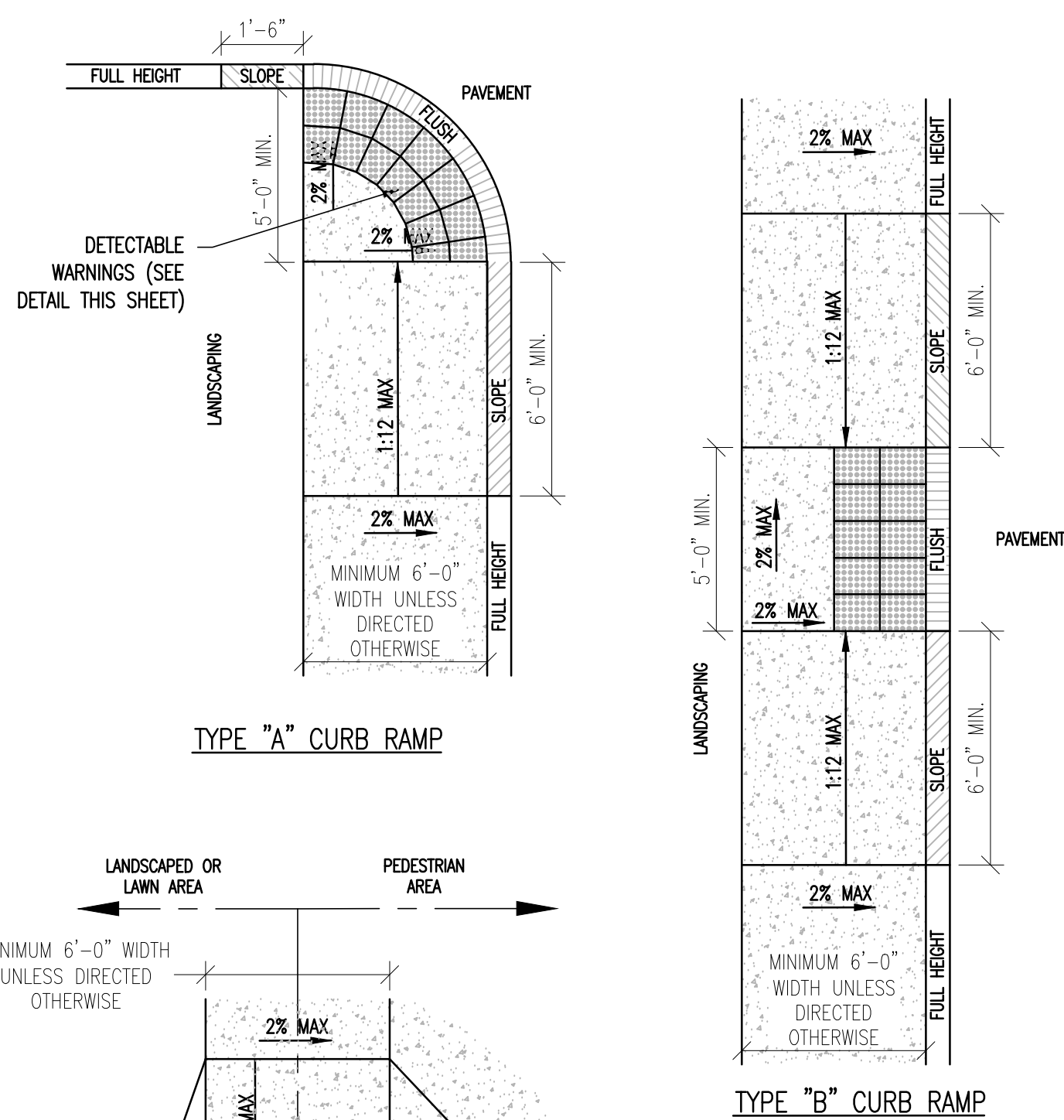
GRANITE CURB DETAILS 2

NOT TO SCALE

NOTES:
 1. WHERE SIDEWALK IS ADJACENT TO ENTRY/EXIT DOOR PADS WITH FROST WALL FOUNDATIONS, SIDEWALK SHALL BE DOWELED TO PAD WITH 24\"/>

SIDEWALK DETAIL 5

NOT TO SCALE

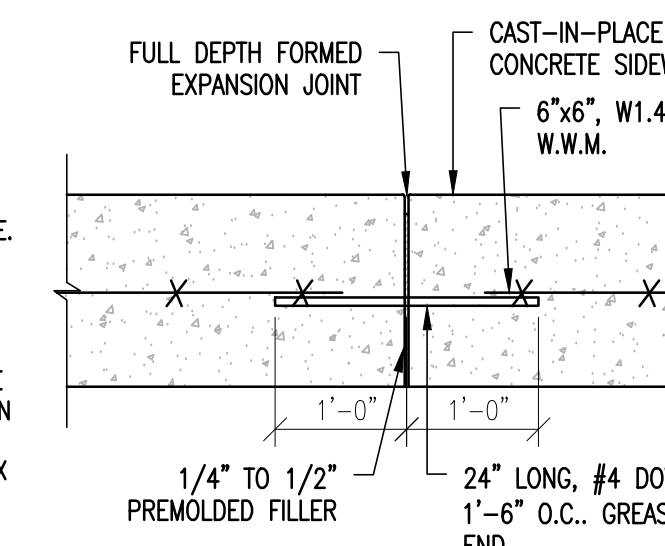


NOTES:
 1. REFER TO SITE PLAN (DRAWING C200) FOR ALL DETAILED SPOT ELEVATIONS, LENGTHS, AND OTHER RELEVANT INFORMATION.

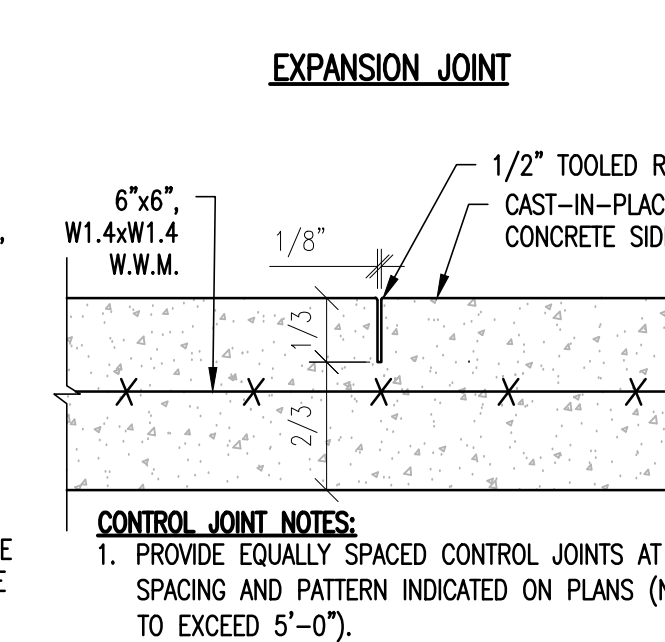
CURB RAMP DETAILS 6

NOT TO SCALE

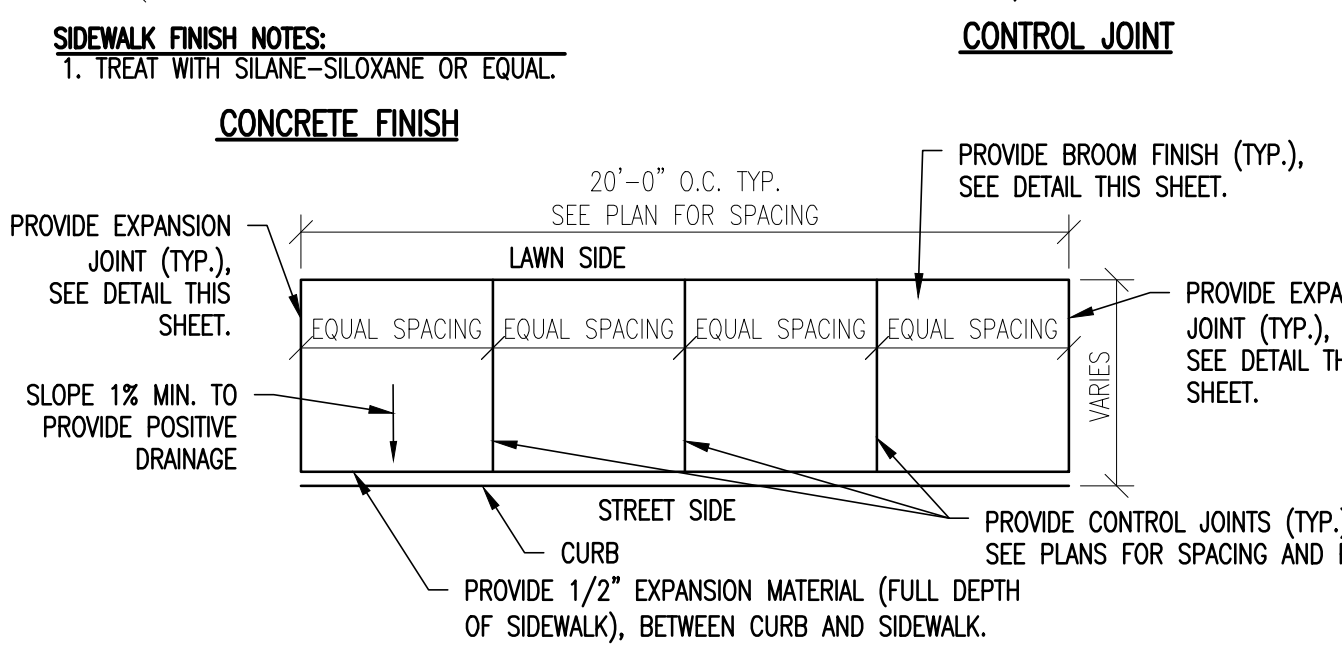
CONCRETE NOTES:
 1. CLASS B CONCRETE SHALL HAVE:
 A. MIN. COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS
 B. AIR ENTRAINMENT OF 5% TO 7% BY VOLUME. MAXIMUM WATER-CEMENT RATIO= 0.60.
 C. SLUMP: 2-4 INCHES BEFORE ADDITION OF WATER REDUCER, 6-8 INCHES AFTER THE ADDITION OF WATER REDUCER.
 2. PLACE NO CONCRETE WHEN AMBIENT TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT OR MORE THAN 90 DEGREES FAHRENHEIT.
 3. NO CONCRETE SHALL BE DROPPED MORE THAN SIX FEET INSIDE A FORM.
 4. MAINTAIN TEMPERATURE OF CONCRETE SURFACE AT MINIMUM 50 DEGREES FAHRENHEIT FOR 72 HOURS AFTER PLACING CONCRETE. PREHEAT ALL ENCLOSURES FOR A MINIMUM OF 2 HOURS TO PROVIDE A MIN. SURFACE TEMPERATURE OF 45 DEGREES FAHRENHEIT.
 5. ALLOW TO SET AND CURE ALL THRUST BLOCKS, CONCRETE SUPPORTS, AND ANCHORS A MINIMUM OF 24 HOURS BEFORE BACKFILLING.
 6. COMPLETELY CURE AND SET CONCRETE BEFORE ANY HYDROSTATIC OR LEAKAGE TESTING OF PIPELINE PRODUCTS.
 7. NONSHRINK GROUT SHALL BE HALCO TRADEMARK, AS MANUFACTURED BY LEHN & FINK INDUSTRIAL PRODUCTS.
 8. DO NOT PLACE ANY MORTAR OR GROUT WHEN AMBIENT TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT.
 9. MORTAR FOR MANHOLES SHALL CONSIST OF THE FOLLOWING:
 A. CEMENT-TYPE II, ASTM C150.
 B. HYDRATED LIME-TYPE N, ASTM C207.
 C. SAND-ASTM C 33, FINE AGGREGATES FOR CONCRETE.
 D. WATER-CLEAN, SUITABLE FOR DRINKING.
 10. MIX(BY VOLUME): 1 PART CEMENT, 1/2 PART LIME, 4 1/2 PARTS SAND.



EXPANSION JOINT NOTES:
 1. PROVIDE (1) EXPANSION JOINT EVERY 20'-0" MAX.
 2. PROVIDE (2) EXPANSION JOINTS AT EVERY DRIVEWAY INTERSECTION
 3. WHERE SIDEWALK IS ADJACENT TO CURB, BOLLARD OR OTHER HARD FEATURE, INSTALL 1/2" EXPANSION MATERIAL (FULL DEPTH OF SIDEWALK), BETWEEN FEATURE AND SIDEWALK.
 4. WHERE SIDEWALK IS ADJACENT TO ENTRY/EXIT DOOR PADS WITH FROST WALL FOUNDATIONS, SIDEWALK SHALL BE DOWELED TO PAD WITH 24" LONG #4 DOWELS (CENTERED) AT 1'-6" o.c. (PORTION OF DOWEL IN SIDEWALK TO BE GREASED).
 5. CAULK ALL EXPANSION JOINTS WITH COLOR MATCHING SILICONE CAULKING.

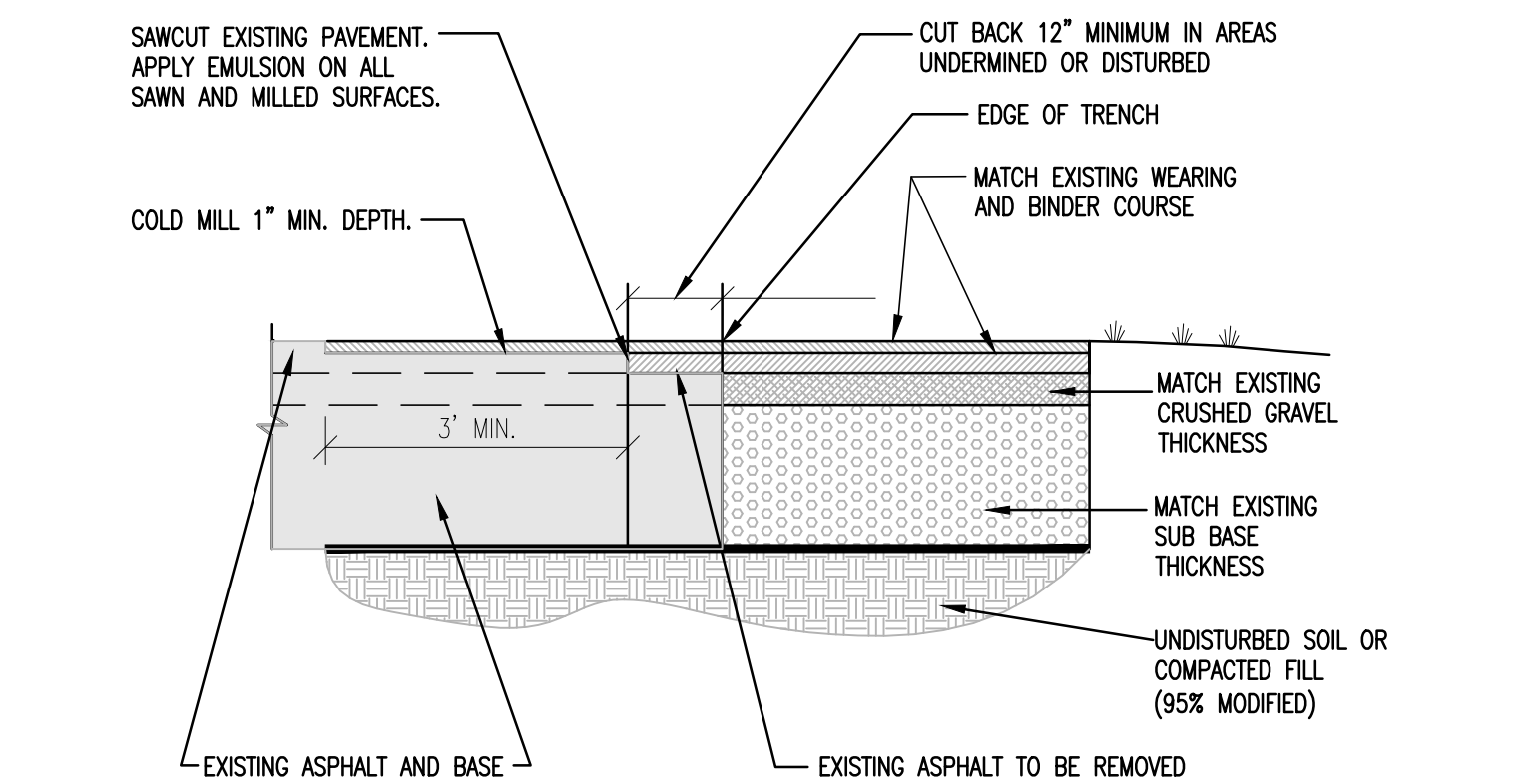


CONTROL JOINT NOTES:
 1. PROVIDE EQUALLY SPACED CONTROL JOINTS AT SPACING AND PATTERN INDICATED ON PLANS (NOT TO EXCEED 5'-0").



CONC. SIDEWALK JOINTS, FINISH, AND NOTES 8

NOT TO SCALE



ASPHALT PAVEMENT TRENCH PATCH DETAIL 3

NOT TO SCALE

C501

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SITE DETAILS (1 OF 2)

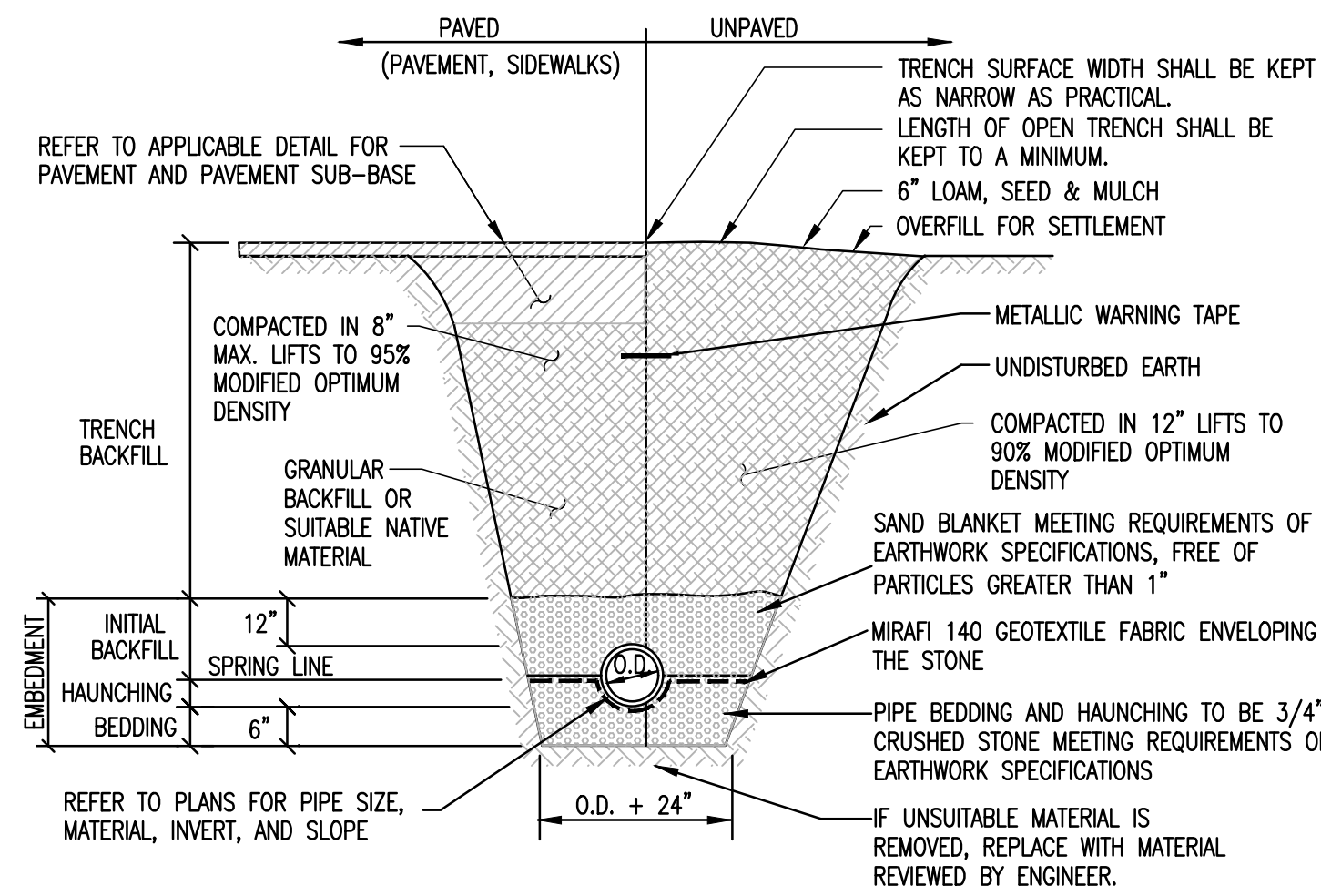
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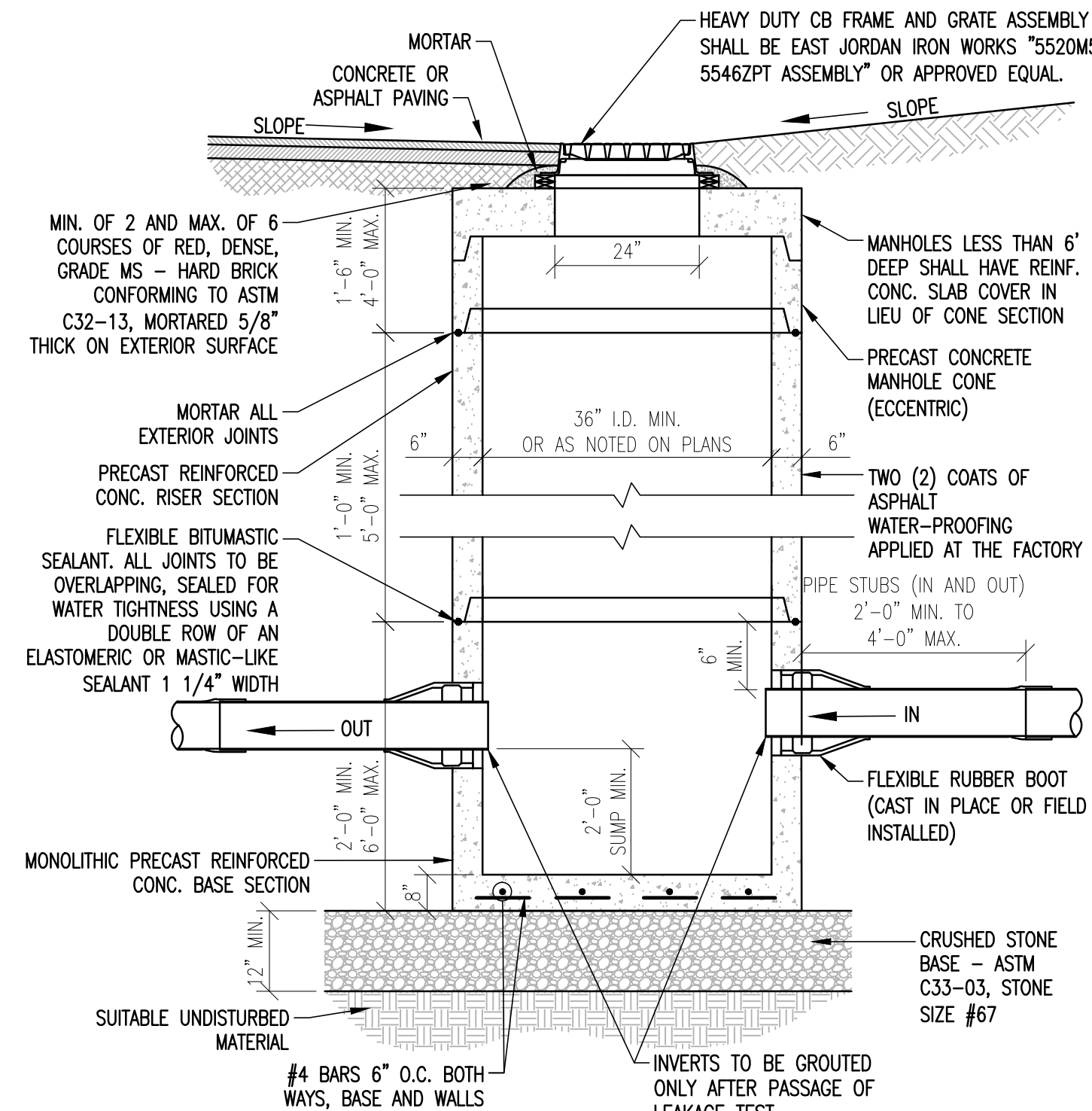




STORM TRENCH NOTES

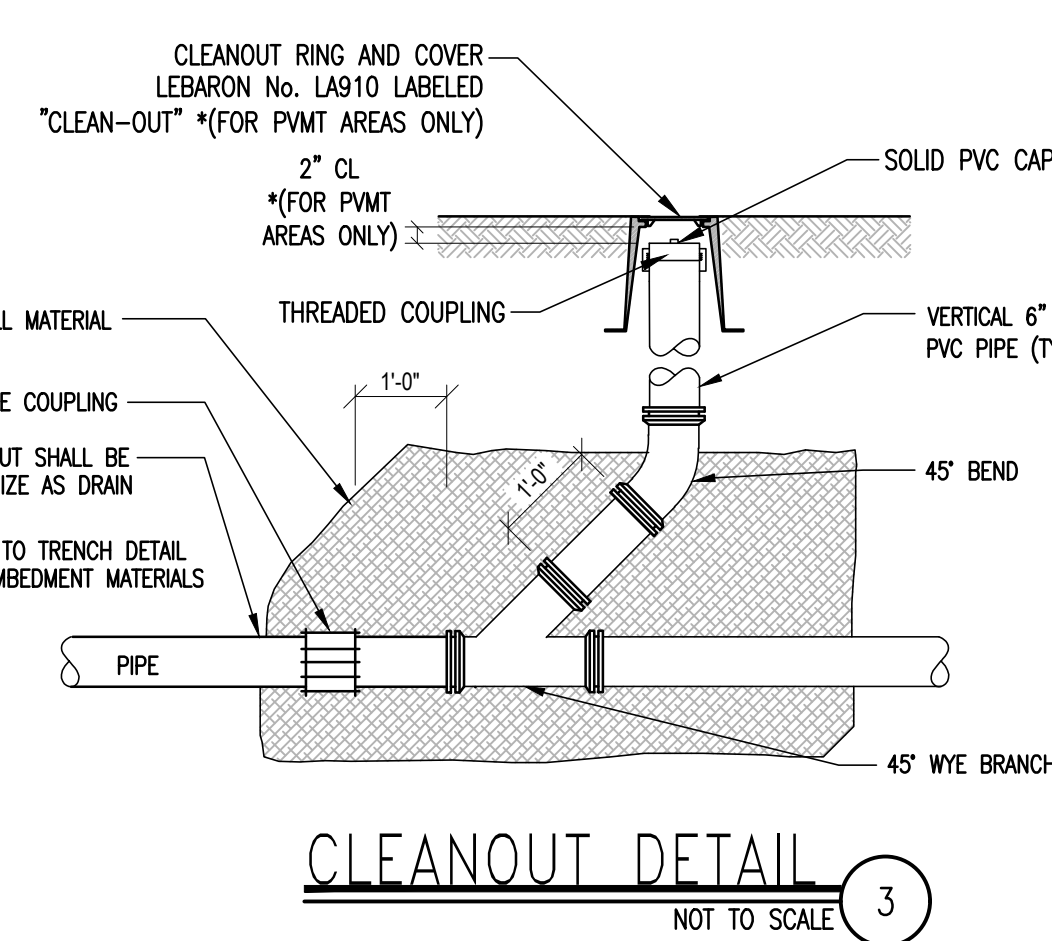
- UNLESS OTHERWISE NOTED, ASSUME CLASS "C" SOILS. PERFORM ALL EXCAVATIONS TO OSHA REQUIREMENTS.
- BEDDING TO PROVIDE A FIRM, STABLE, CONTINUOUS AND UNIFORM SUPPORT FOR THE FULL LENGTH OF PIPE.
- WHEN APPLICABLE, INSTALL PIPE WITH BELL ENDS DOWN SLOPE. PREVENT SEDIMENT FROM ENTERING NEW STORM DRAIN SYSTEM DURING CONSTRUCTION.
- NO MECHANICAL TAMPERS SHALL BE USED DIRECTLY OVER PIPE TO INSURE PIPE IS NOT DAMAGED.
- REFER TO INSULATION DETAIL FOR AREAS WHERE PROPER COVER CAN NOT BE ACHIEVED.

TYPICAL STORM TRENCH DETAIL (1) NOT TO SCALE

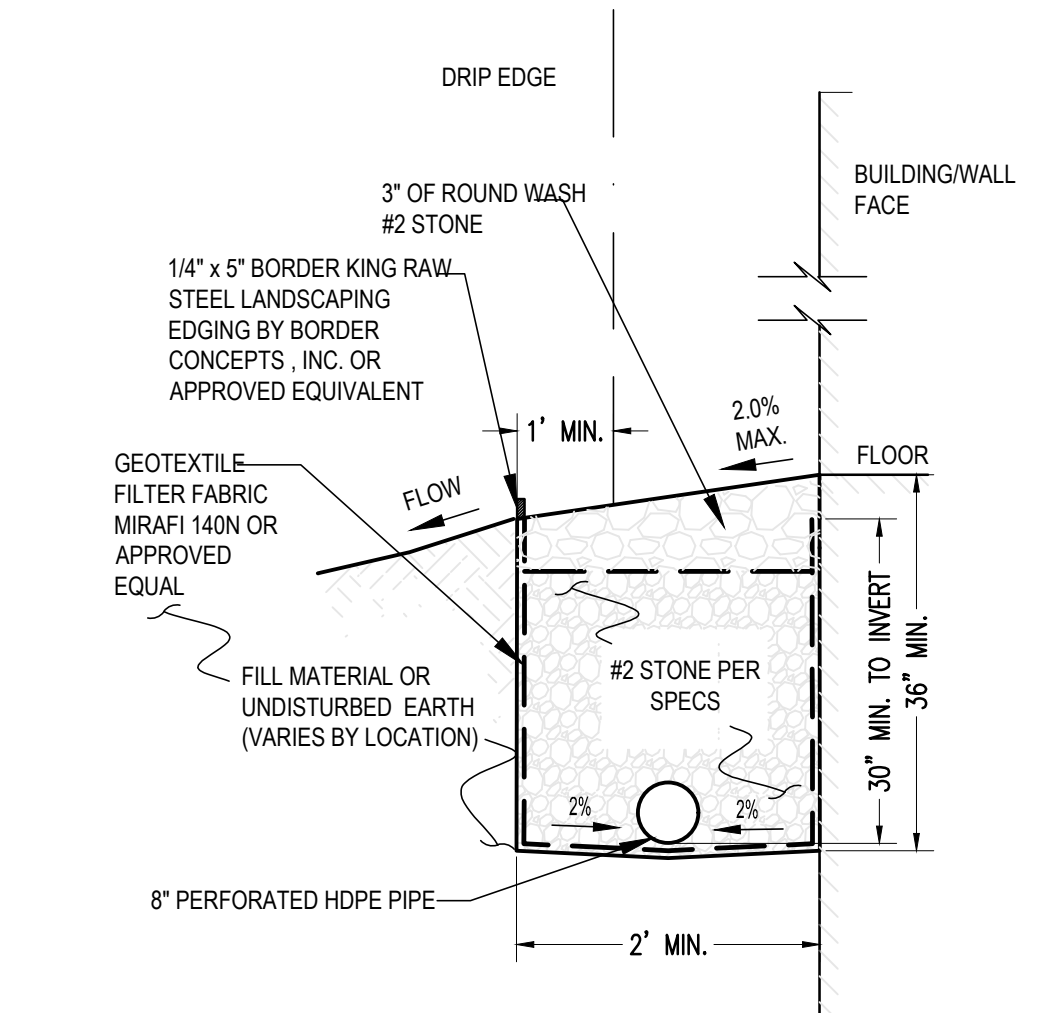


- NOTES:**
- IF DEPTH OF MANHOLE IS 7 FT. OR LESS FROM RIM TO CENTERLINE INVERT, THEN A FLAT TOP WILL BE INSTALLED. IF DEPTH OF MANHOLE FROM RIM TO CENTERLINE INVERT IS MORE THAN 7 FT., THEN AN ECCENTRIC CONICAL TOP WILL BE INSTALLED.
 - CATCH BASIN AND GRATE SHALL BE DESIGNED FOR H2O LOADING.
 - CATCH BASIN SHALL BE PRECAST CONCRETE AS MANUFACTURED BY THE FORT MILLER CO. OR APPROVED EQUIVALENT.

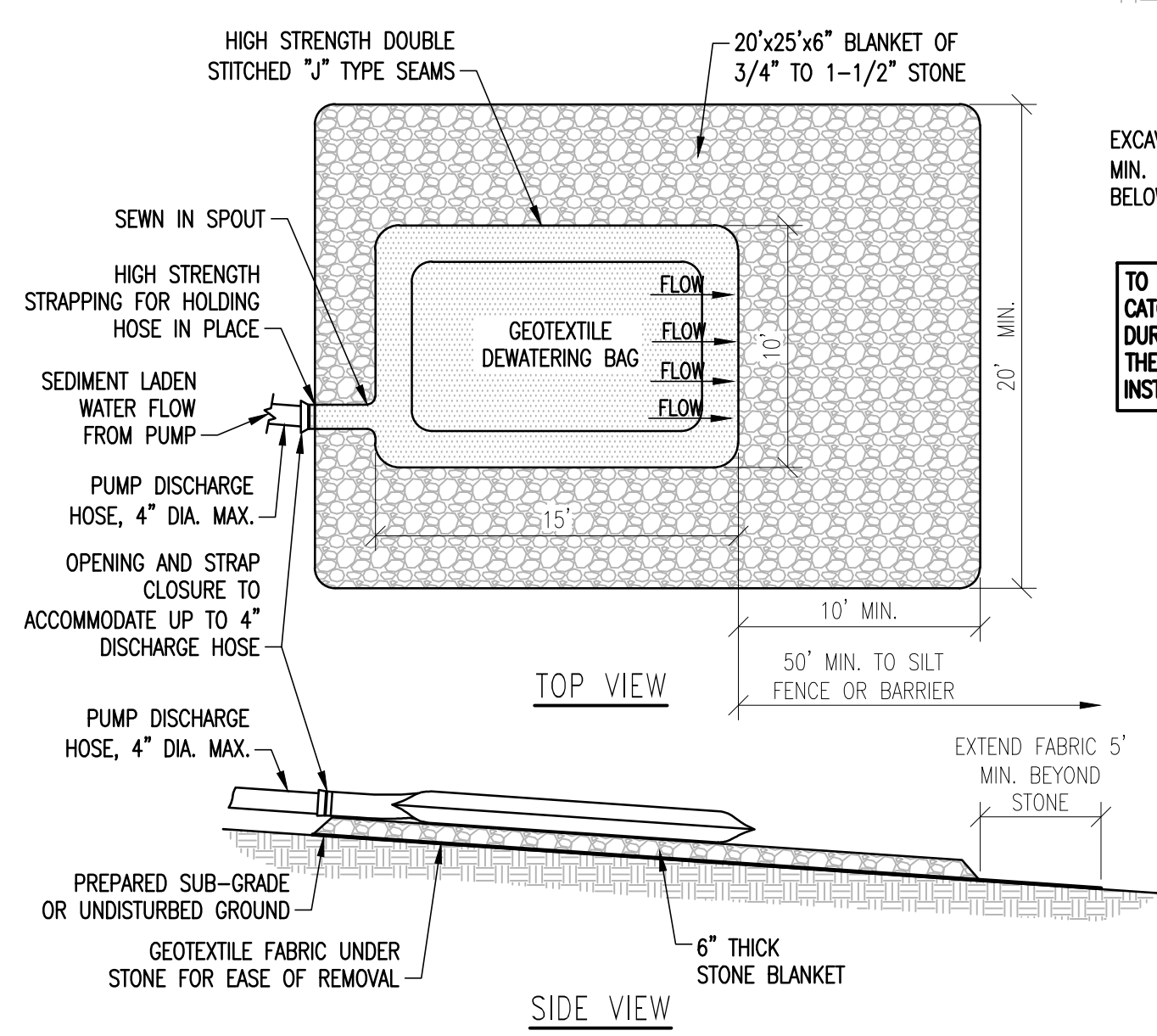
TYPICAL CATCH BASIN DETAIL (2) NOT TO SCALE



CLEANOUT DETAIL (3) NOT TO SCALE

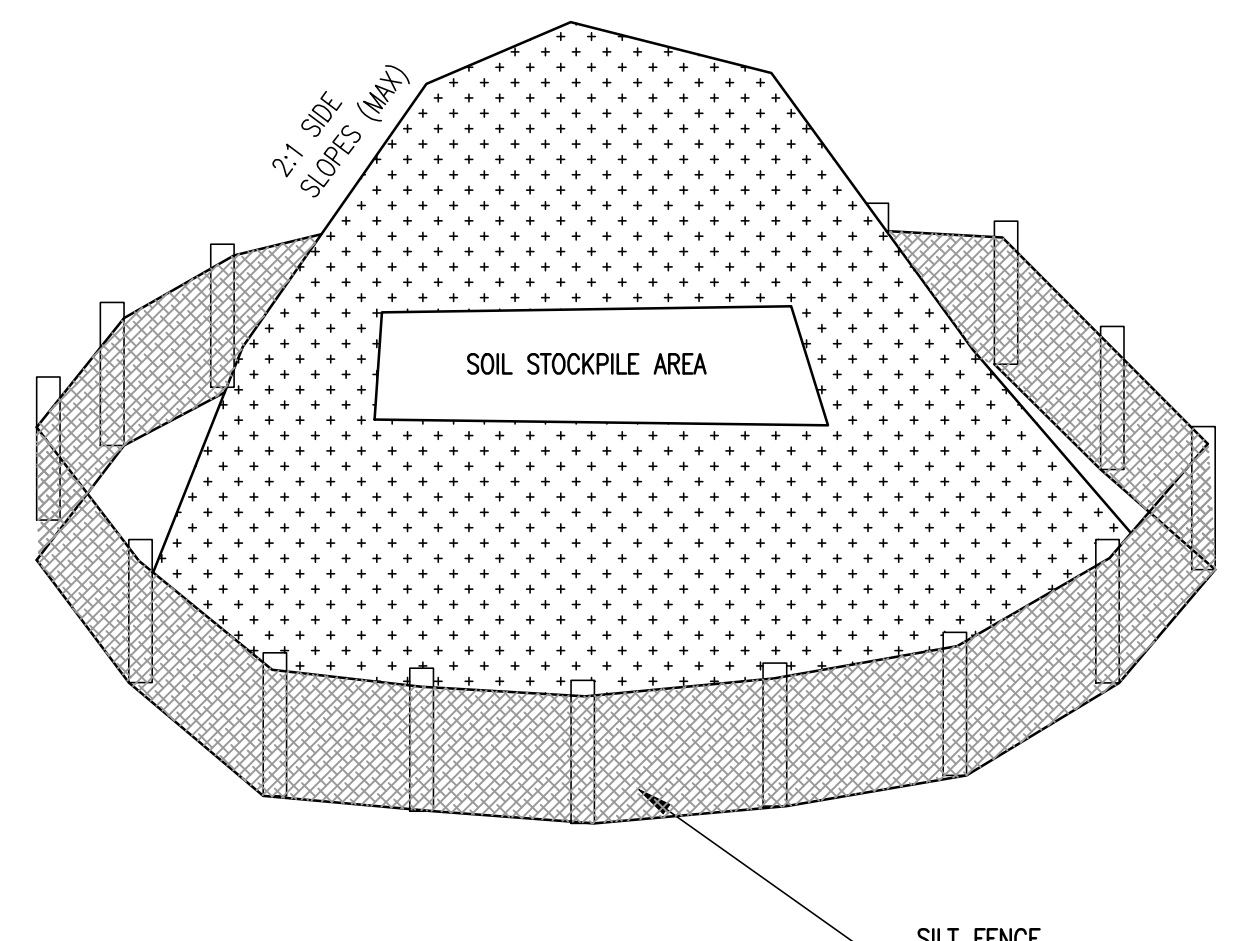


STONE DRIP EDGE AT BLDG (4) NOT TO SCALE



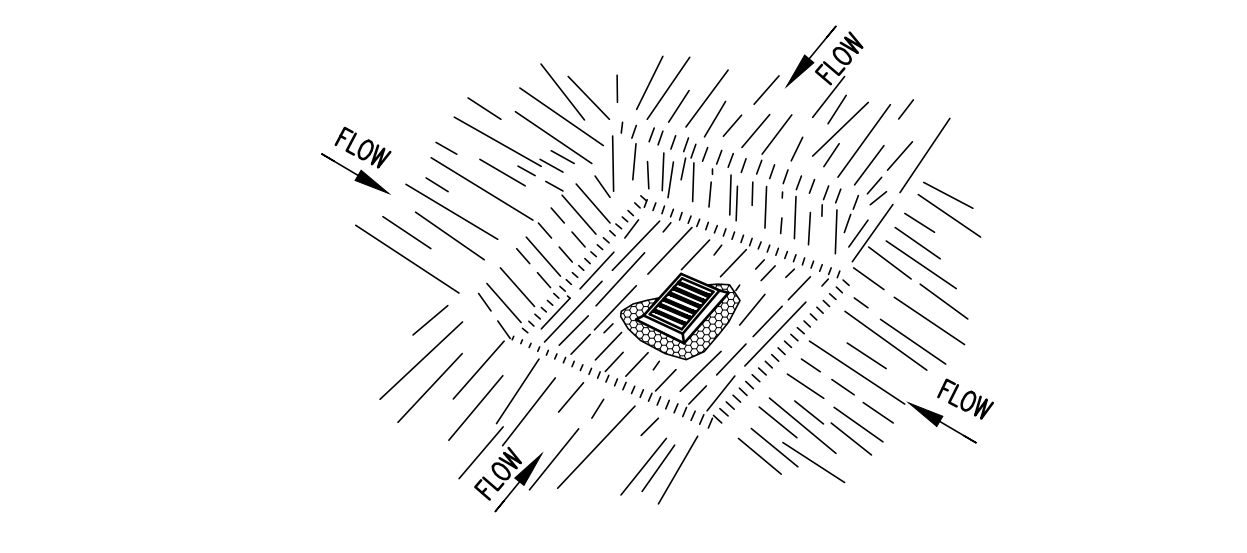
- NOTES:**
- ALL PROJECT DEWATERING PUMPS SHALL DISCHARGE INTO A PUMPED SEDIMENT CONTROL DEVICE.
 - GEOTEXTILE BAG MATERIAL BASED ON PARTICLE SIZE IN PUMPED WATER, I.E., FOR COARSE PARTICLES A WOVEN MATERIAL, FOR SILTS/CLAYS A NON-WOVEN MATERIAL.
 - LIFTING STRAPS SHALL BE INCLUDED WITH THE PUMPED SEDIMENT CONTROL DEVICE FOR REMOVAL WHEN FULL.
 - DO NOT OVER PRESSURIZED BAG OR USE BEYOND CAPACITY.
 - LOCATE DISCHARGE SITE ON LEVEL UPLAND AREAS AS FAR AWAY AS POSSIBLE FROM STREAMS, WETLANDS, OTHER RESOURCES AND POINTS OF CONCENTRATED FLOW.
 - DOWNGRADIANT FROM RECEIVING AREA MUST BE WELL VEGETATED OR OTHERWISE STABLE FROM EROSION, E.G., FOREST FLOOR, GRASS LAWN OR COARSE GRAVEL/STONE.
 - DISCHARGE LOCATION SHALL MEET ALL REGULATORY SETBACKS FROM WETLANDS AND OTHER WATER COURSES.
 - HEAVY EQUIPMENT ACCESS TO THE THE PUMPED SEDIMENT CONTROL DEVICE SITE SHALL BE MAINTAINED FOR REPLACEMENT AND DISPOSAL.
 - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION, CLEANING AND REMOVAL.

PUMPED WATER FILTER BAG (5) NOT TO SCALE



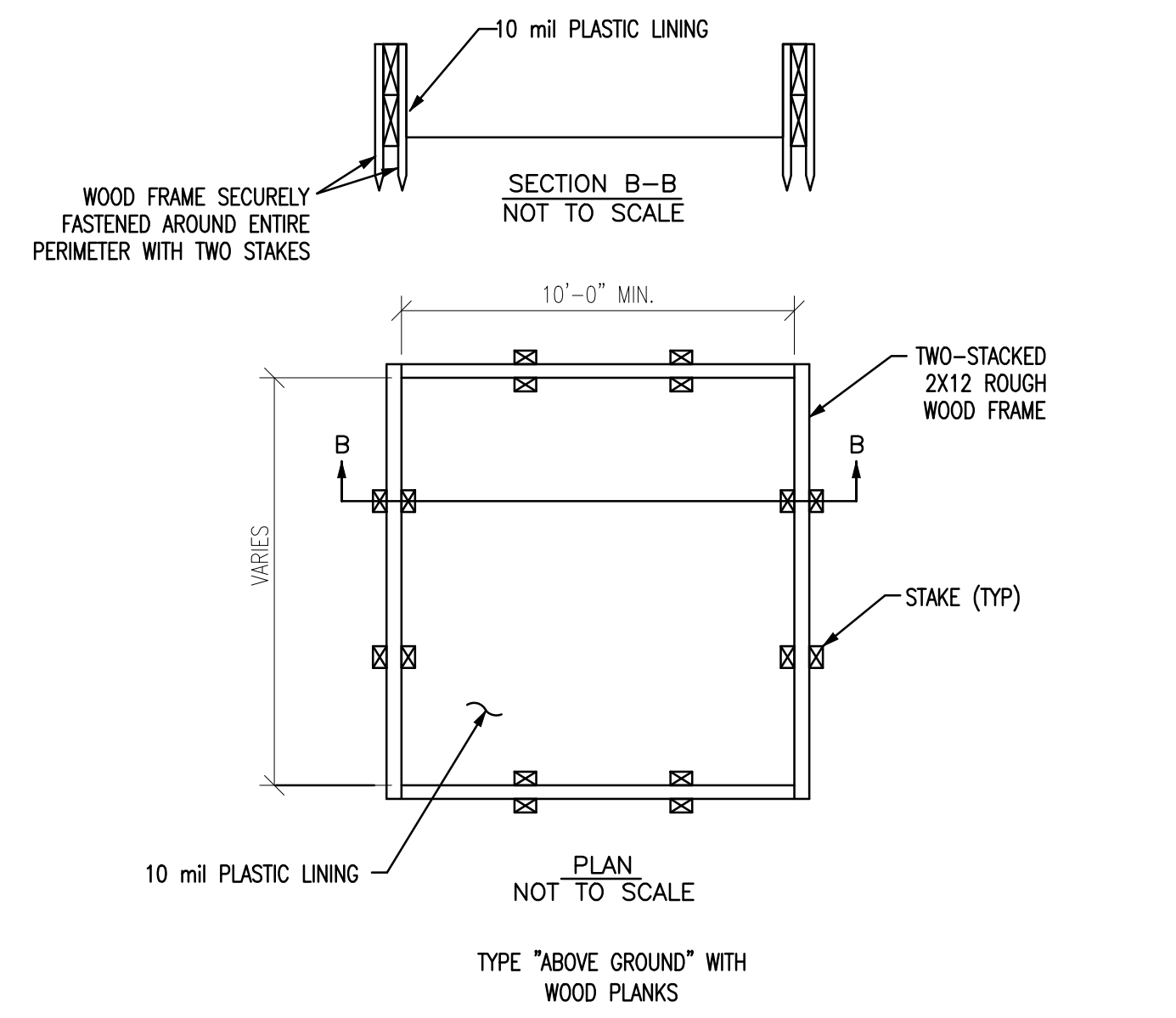
- STOCKPILE NOTES**
- STOCKPILES TO HAVE MAXIMUM 2:1 SIDE SLOPES.
 - SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF STOCKPILE AREA.
 - STOCKPILE AREA TO BE STABILIZED WITH VEGETATION, GEOTEXTILE, OR COVER. IF COVER TO BE USED, COVER SHALL BE SECURED WITH USE OF SAND BAGS OR OTHER MEASURES TO PREVENT COVER FROM BLOWING OFF STOCKPILE.
 - STOCKPILES SHALL BE PLACED ON DRY AND STABLE AREAS.

TOPSOIL STOCKPILE AREA (6) NOT TO SCALE

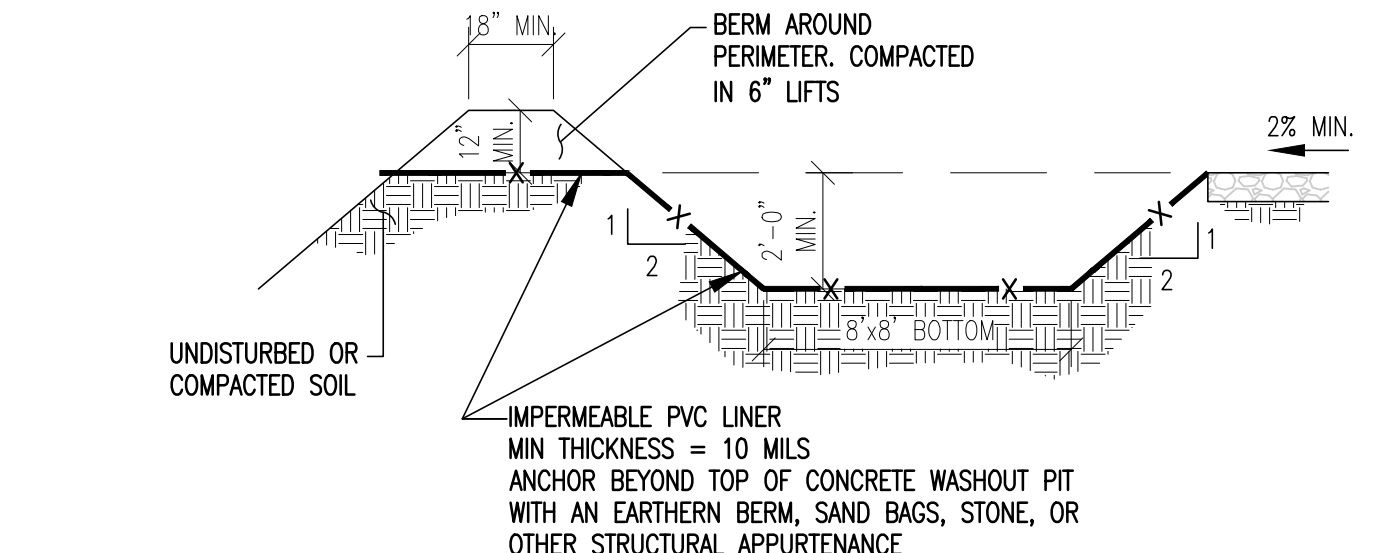


- CONSTRUCTION SPECIFICATIONS**
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
 - GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
 - WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
 - UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.
 - GRAVEL BAGS, GRATE GUARDS, FILTEREXX OR SEDIGUARD INLET PROTECTION DEVICES MAY BE USED. SUBMIT PRODUCT INFORMATION TO ENGINEER FOR REVIEW PRIOR TO USE. INSTALL PRODUCTS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE LATEST EDITION OF THE NY EPCS STANDARDS AND SPECIFICATIONS.

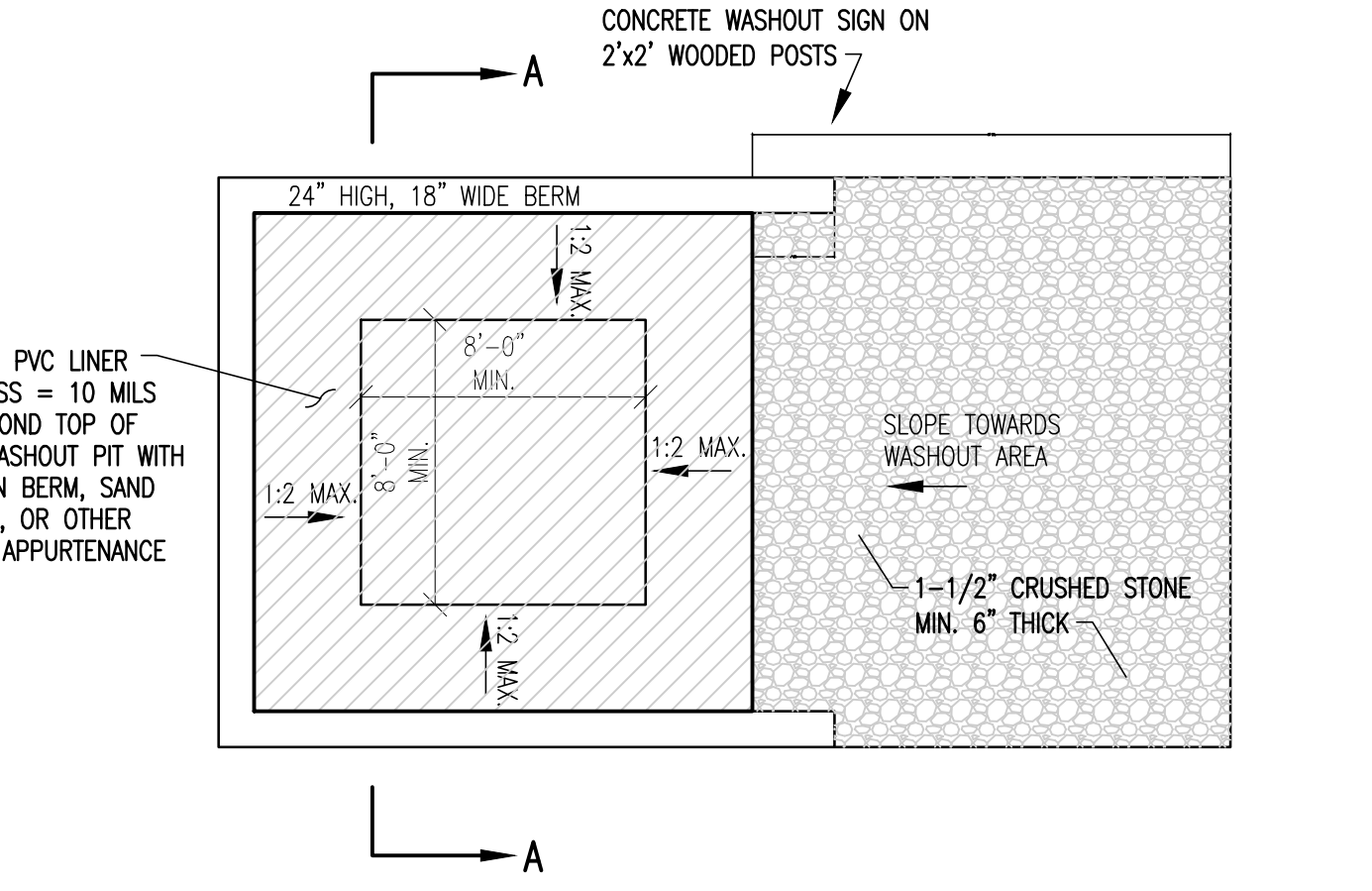
EXCAVATED INLET PROTECTION DETAIL (7) NOT TO SCALE



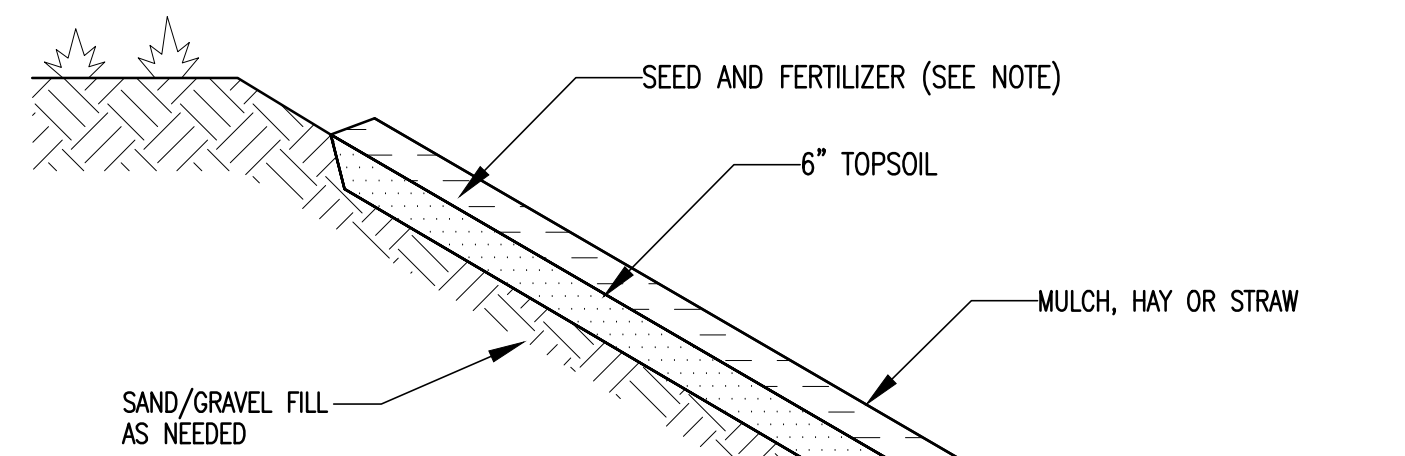
WOOD FRAME CONCRETE WASHOUT DETAIL (8) NOT TO SCALE



- CONCRETE WASHOUT AREA NOTES**
- ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED/REPLACED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA, SUCH AS A GRASS FILTER STRIP.
 - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF-SITE.
 - DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN AN APPROPRIATE FACILITY. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHALL BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH/FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
 - THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
 - INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.
 - IN LIEU OF CONCRETE WASHOUT AREA, A PRE-FABRICATED WASHOUT MAY BE USED. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF SUCH PRE-FABRICATED WASHOUT AREA TO DESIGN ENGINEER FOR REVIEW AND APPROVAL.



EXCAVATED CONCRETE TRUCK WASHOUT DETAIL (9) NOT TO SCALE



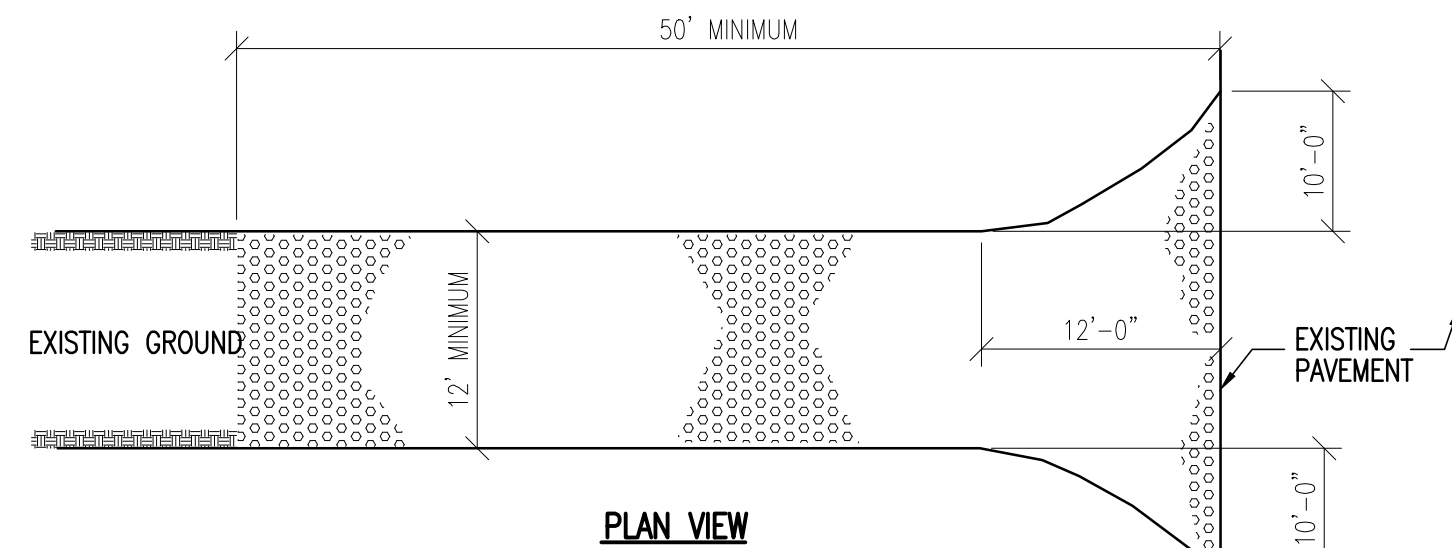
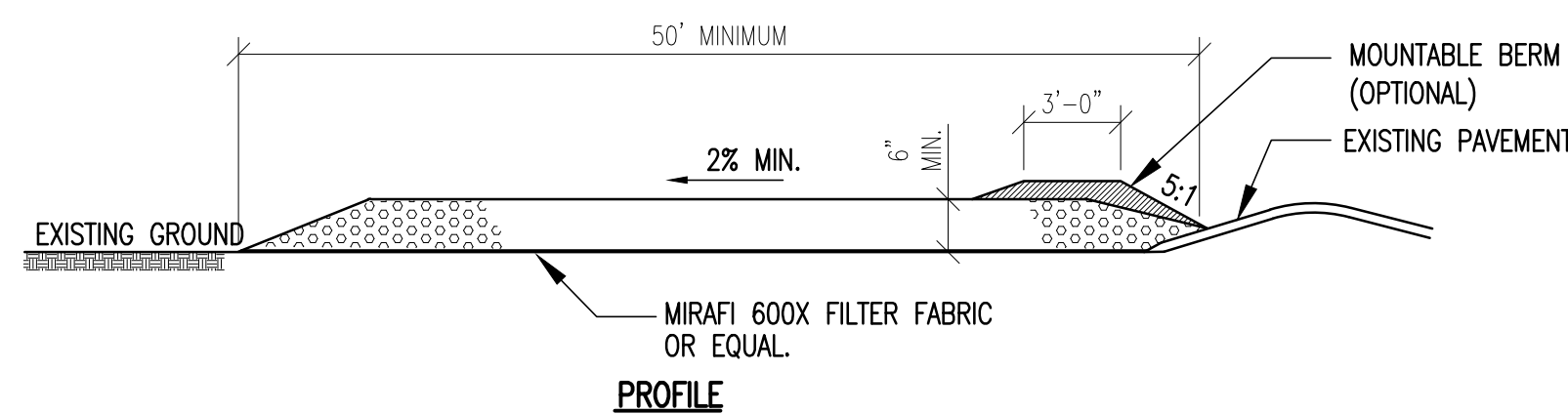
NOTES FOR SEEDED AND MULCHED AREAS

- MULCH: HAY OR STRAW MAY BE UTILIZED AND SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.
- SEED: SHALL BE OF THE FOLLOWING MIXTURE
 KENTUCKY BLUE GRASS -----20 POUNDS / ACRE
 CREEPING RED FESCUE -----20 POUNDS / ACRE
 RYE GRASS -----5 POUNDS / ACRE
- COVER SEED WITH 1/4 INCH SOIL UNLESS A HYDROSEEDER IS USED.
- MULCH ANCHORING: SHALL BE ACCOMPLISHED BY DEGRADABLE MULCH NETTING. USE WHEN SLOPES ARE GREATER THAN 10%.
- TOPSOIL AND MULCHING NOT TO BE APPLIED IN AREAS OF TRAVEL WAYS.
- SEEDING AND MULCHING OF DISTURBED AREAS SHALL TAKE PLACE WITHIN 48 HOURS OF FINAL GRADING.

FERTILIZER-10 LBS. PER 1000S.F.
 SPRING SEEDING
 FALL SEEDING
 LIME-90 LBS. PER 1000S.F.
 DOLOMITIC GROUND LIMESTONE
 NOT LESS THAN 85% OF THE TOTAL
 CARBONATE
 TOP SOIL
 6\"/>

SEED AND MULCHED AREAS DETAIL

NOT TO SCALE 1

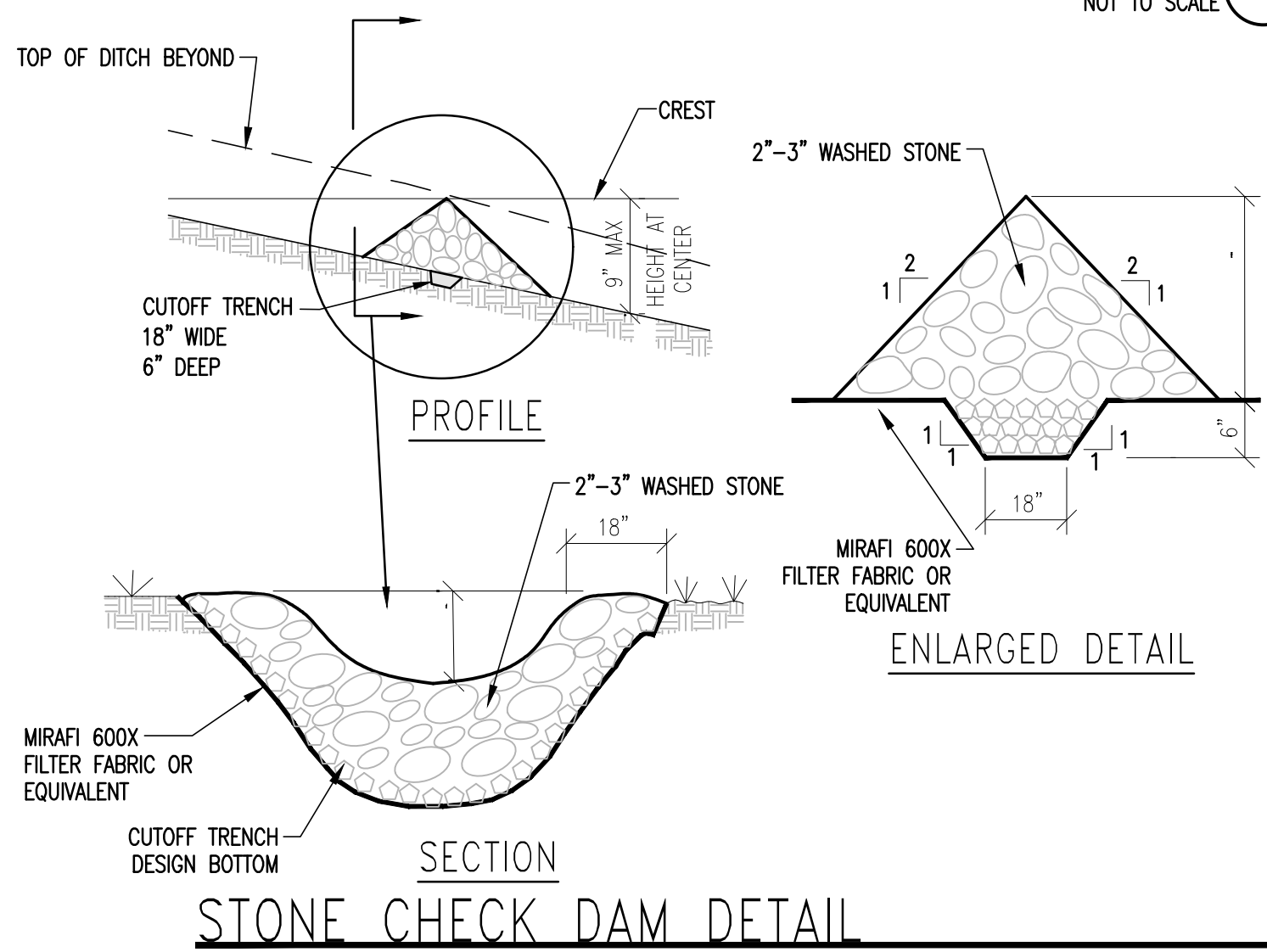


STABILIZED CONSTRUCTION ENTRANCE NOTES:

- STONE SIZE: USE 1-1/2" CRUSHED STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

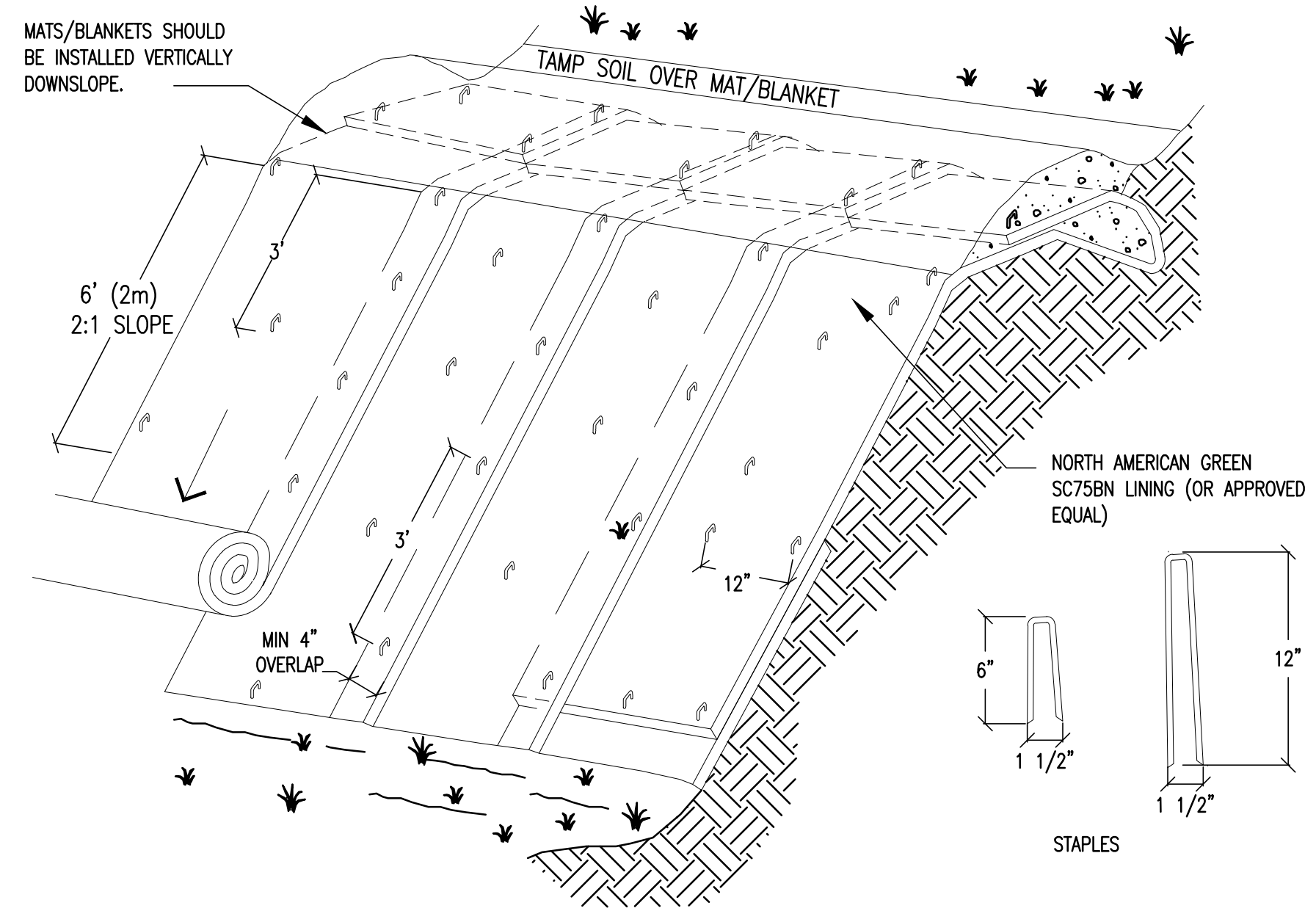
STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE 2



- NOTES:**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN PLANS.
 - SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.
 - REMOVE ACCUMULATED SEDIMENT BEHIND CHECK DAM WHEN 1/2 THE HEIGHT OF THE DAM. REPLACE STONES AS NECESSARY.

NOT TO SCALE 3

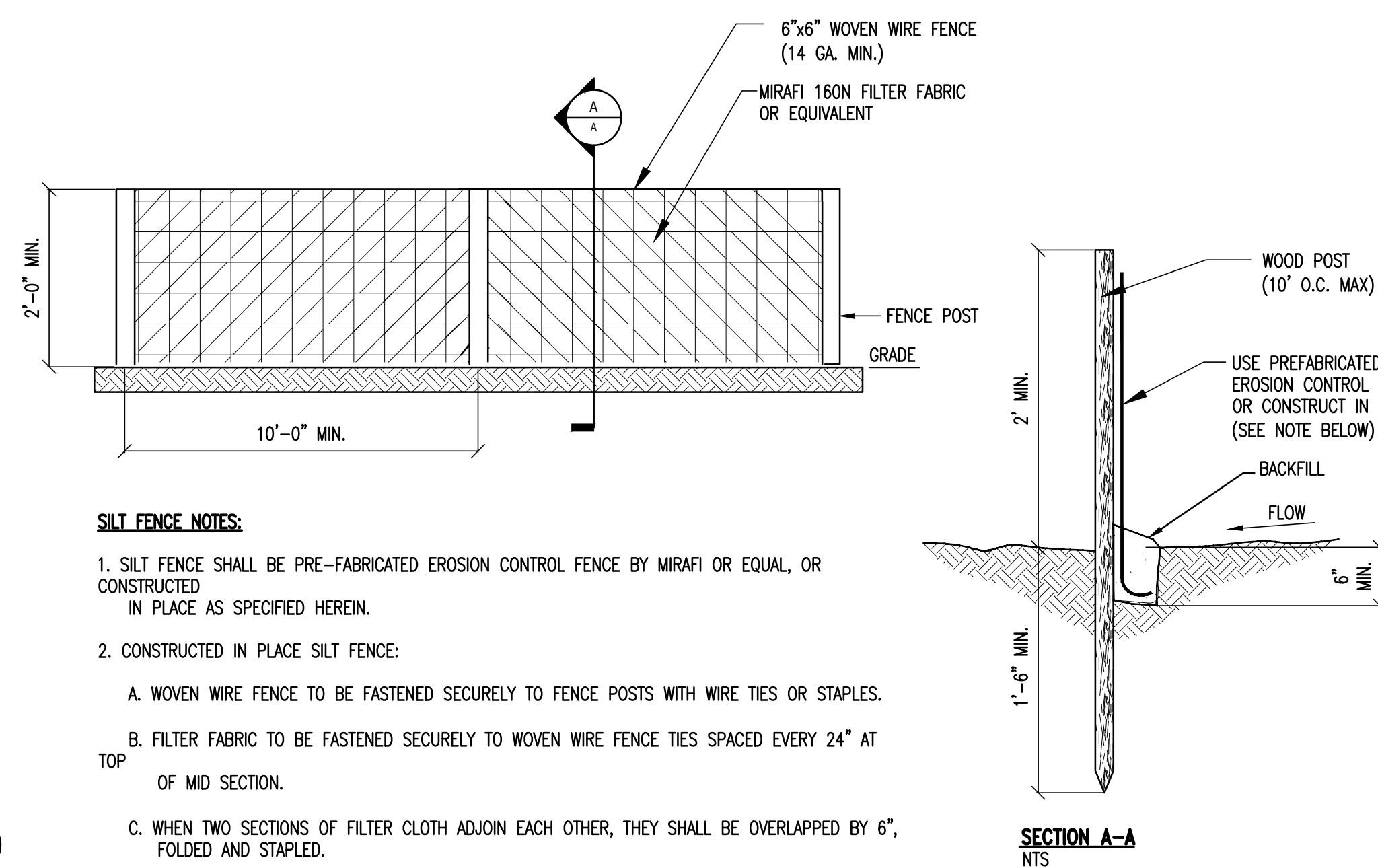


EROSION CONTROL MATTING NOTES:

- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL MATTING DETAIL

NOT TO SCALE 4



SILT FENCE NOTES:

- SILT FENCE SHALL BE PRE-FABRICATED EROSION CONTROL FENCE BY MIRAFI OR EQUAL, OR CONSTRUCTED IN PLACE AS SPECIFIED HEREIN.
- CONSTRUCTED IN PLACE SILT FENCE:
 - WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER FABRIC TO BE FASTENED SECURELY TO WOVEN WIRE FENCE TIES SPACED EVERY 24" AT TOP OF MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6", FOLDED AND STAPLED.
- INSPECTION SHALL BE FREQUENT (MINIMUM ONCE A WEEK AND AFTER EVERY RAINFALL). MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.

SILT FENCE DETAIL

NOT TO SCALE 5

EROSION CONTROL NOTES

GENERAL NOTES

- THE "ON-SITE EROSION CONTROL PLAN COORDINATOR" SHALL BE PRESENT ON-SITE FROM DAY-TO-DAY, AND SHALL BE RESPONSIBLE FOR ENSURING THAT THE EROSION CONTROL MEASURES REQUIRED BY THE EROSION CONTROL PLAN, DETAILS AND NOTES, ARE PROPERLY INSTALLED AND MAINTAINED. THE ONSITE EROSION CONTROL PLAN COORDINATOR SHALL KEEP A WRITTEN RECORD OF INSPECTIONS AND MAINTENANCE OF EROSION CONTROL FEATURES. A COPY OF THESE PLANS AND INSPECTION/MAINTENANCE RECORDS SHALL BE KEPT ONSITE AT ALL TIMES.
- EROSION CONTROL MEASURES SHALL BE CONDUCTED IN ACCORDANCE WITH THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS", DATED NOVEMBER 2016, OR LATEST EDITION.
- DISTURBANCE LIMITS ARE TO BE MARKED, AND THE FOLLOWING MANAGEMENT PRACTICES INSTALLED, PRIOR TO BEGINNING EARTH WORK IN ANY GIVEN AREA; SILT FENCE, CONSTRUCTION ENTRANCE AND TREE PROTECTION FENCING.
- THE PERIOD BETWEEN OCTOBER 15TH AND APRIL 15TH IS CONSIDERED THE "WINTER CONSTRUCTION PERIOD". A PLAN FOR WINTER CONSTRUCTION MUST BE DEVELOPED BY THE CONTRACTOR, AND SUBMITTED TO THE ENGINEER AT LEAST 30 DAYS IN ADVANCE OF PROPOSED EARTH DISTURBANCE DURING THIS PERIOD.
- ALL DISTURBED AREAS ARE TO BE STABILIZED (TEMPORARY OR FINAL) WITHIN 7 DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE WITHIN THIS WORK AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
 - STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN 24 HOURS AND NO PRECIPITATION IS FORECAST DURING THAT PERIOD.
 - WORK IS OCCURRING WITHIN A SELF-CONTAINED EXCAVATION, 2 FEET OR MORE IN DEPTH. IN NO CASE SHALL SOIL BE EXPOSED FOR MORE THAN 14 DAYS WITHOUT BEING STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTION OF THE ADJACENT ROADWAYS FOR OFF-SITE TRACKING OF SOIL MATERIALS. SOIL, STONE, AND DEBRIS FOUND LEAVING THE SITE ARE TO BE REMOVED (WHEN FOUND) BY SWEEPING AT THE END OF EACH CONSTRUCTION DAY, OR MORE FREQUENTLY WHEN NEEDED TO PREVENT IMPACTS TO ADJACENT ROADS AND SIDEWALKS.
- IF DEWATERING IS REQUIRED FOR CONSTRUCTION, THE CONTRACTOR MUST UTILIZE SEDIMENT FILTER BAGS (OR ALTERNATE APPROVED BY THE ENGINEER) TO PREVENT DISCHARGE OF SEDIMENT-LADEN WATER OFF SITE.

TEMPORARY/CONSTRUCTION EROSION CONTROL MEASURES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE DISTURBED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS DISTURBED, THE DISTURBANCE SHALL BE KEPT TO THE SHORTEST PRACTICAL DURATION AS APPROVED BY THE ENGINEER.
- DUST SHALL BE CONTROLLED WITH WATER DISTRIBUTED BY A TRUCK-MOUNTED SPRAY BAR. CALCIUM CHLORIDE (AASHTO M 144) OR SODIUM CHLORIDE (AASHTO M 143) SHALL BE USED AS DIRECTED BY THE ENGINEER.
- SILT FENCES SHALL BE INSTALLED GENERALLY 10 FEET FROM THE BASE OF THE FILL SLOPES, OR AS SHOWN ON THE PLANS. THESE SHALL REMAIN IN PLACE UNTIL THE PROJECT SITE HAS BEEN STABILIZED. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES 6 INCHES DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A PROPER SEDIMENT BARRIER.
- EXCAVATED MATERIAL FROM EARTH EXCAVATION AND DITCH DIGGING SHALL BE PLACED ONSITE IN A LOCATION TO BE APPROVED OF BY THE OWNER AND/OR THE ENGINEER OR USED FOR PROJECT FILL MATERIAL IF DETERMINED SUITABLE BY THE OWNER'S REPRESENTATIVE.
- STOCKPILED MATERIAL (TOPSOIL, BORROW, ETC.) SHALL HAVE SILT FENCE CONSTRUCTED AROUND THE PERIMETER. THE STOCKPILED MATERIAL SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE TO PREVENT SOIL EROSION AND SEDIMENTATION OFF SITE. LOCATE STOCKPILES ON THE UPHILL SIDE OF DISTURBED AREAS, IF POSSIBLE. DURING WINDY CONDITIONS, STOCKPILED MATERIAL SHALL BE COVERED OR WATERED APPROPRIATELY TO PREVENT WIND EROSION.
- SLOPES GREATER THAN 3:1 SHALL HAVE EROSION CONTROL NETTING INSTALLED TO STABILIZE THE SLOPE AND REDUCE THE EROSION POTENTIAL. NETTING SHALL BE BIODEGRADABLE WITH A 12 MONTH LONGEVITY, 5150BN AS MANUFACTURED OR APPROVED EQUIVALENT. INSTALL NETTING OVER MULCHED SLOPES SO THAT ALL PARTS ARE IN CONTACT WITH THE SOIL AND MULCH. PIN NETTING WITH WIRE STAPLES 3 FEET O.C. TO ENSURE FULL BONDING WITH SOIL SURFACE. THE SLOPE SURFACES SHOULD BE LEFT SLIGHTLY ROUGHENED AND NOT SMOOTH. IF LARGE AMOUNTS OF OFFSITE WATER WILL DRAIN OVER THESE SLOPES, TEMPORARY DIVERSION SWALES SHALL BE INSTALLED UP SLOPE UNTIL THE SLOPE VEGETATION STABILIZES.

PERMANENT EROSION CONTROL MEASURES

- WHEN FINAL GRADES ARE REACHED IN AN AREA, IT SHALL BE SEEDED AND MULCHED WITHIN 48 HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF ALL DISTURBED AREAS, INCLUDING WATERING UNTIL THE AREA IS INSPECTED AND ACCEPTED BY THE OWNER OR ENGINEER.
- AFTER THE SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND INSTALL PERMANENT VEGETATION ON THE DISTURBED AREAS.
- RE-SEEDING SHALL BE DONE UNTIL ALL AREAS ARE COMPLETELY COVERED WITH A MATURE STRAND OF GRASS. AN AREA SHALL BE CONSIDERED COVERED WHEN THE ENTIRE SURFACE CONTAINS A VERDOROUS STAND OF GRASS. AREAS THAT, IN THE OPINION OF THE ENGINEER, ARE PREDOMINATELY WEEDS SHALL BE PLOWED UP, FINE GRADED, FERTILIZED AND RE-SEEDING IN THE MANNER SPECIFIED PREVIOUSLY, EXERCISING CAUTION NOT TO CAUSE DAMAGE TO NEW OR EXISTING PLANT MATERIAL.
- ALL STABILIZATION INVOLVING SEEDING IS TO BE COMPLETED BY SEPTEMBER 15TH.

WINTER EROSION CONTROL NOTES

WINTER CONSTRUCTION STANDARDS AND EROSION AND SEDIMENT CONTROL MEASURES APPLY TO ALL CONSTRUCTION ACTIVITIES INVOLVED WITH ONGOING LAND DISTURBANCE AND EXPOSURE BETWEEN OCTOBER 15TH TO THE FOLLOWING APRIL 1ST.

WINTER CONSTRUCTION PROCEDURES

- DURING WINTER CONSTRUCTION, INSPECTIONS BY THE ON-SITE PLAN COORDINATOR SHALL OCCUR DAILY WHEN AREAS ARE UN-STABLE, AND WEEKLY PRIOR TO ANY FORECASTED RAIN, THAW OR SPRING MELT WHEN TEMPORARY STABILIZATION IS IN PLACE.
- IF THE SITE WILL NOT HAVE EARTH DISTURBING ACTIVITIES ONGOING DURING THE WINTER CONSTRUCTION PERIOD, ALL BARE EXPOSED SOIL MUST BE STABILIZED BY ESTABLISHING VEGETATION, STRAW OR OTHER ACCEPTABLE MULCH, MATTING, ROCK, OR OTHER APPROVED MATERIAL SUCH AS ROLLED EROSION CONTROL PRODUCTS. SEEDING OF AREAS WITH MULCH COVER IS PREFERRED BUT SEEDING ALONE IS NOT ACCEPTABLE FOR PROPER STABILIZATION.
- PREPARE A SNOW MANAGEMENT PLAN WITH ADEQUATE STORAGE FOR SNOW AND CONTROL OF MELT WATER, REQUIRING CLEARED SNOW TO BE STORED IN A MANNER NOT AFFECTING ONGOING CONSTRUCTION ACTIVITIES.
- ENLARGE AND STABILIZE ACCESS POINTS TO PROVIDE FOR SNOW MANAGEMENT AND STOCKPILING. SNOW MANAGEMENT ACTIVITIES MUST NOT DESTROY OR DEGRADE INSTALLED EROSION AND SEDIMENT CONTROL PRACTICES.
- LIMITS OF DISTURBANCE SHALL BE MOVED OR REPLACED TO REFLECT BOUNDARY OF WINTER WORK.
- A MINIMUM 25-FT BUFFER SHALL BE MAINTAINED FROM ALL PERIMETER CONTROLS (SUCH AS SILT FENCE) TO ALLOW FOR CLEARING AND MAINTENANCE. MARK SILT FENCE WITH TALL STAKES THAT ARE VISIBLE ABOVE THE SNOW PACK.
- SNOW IS TO BE REMOVED FROM ALL STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES FOLLOWING EACH SIGNIFICANT SNOWFALL. NO SNOW STORAGE UP-GRADE OF DISTURBANCE. NO SNOW DISPOSAL IN SEDIMENT PONDS/BASINS. IF NECESSARY, SNOW/ICE MUST BE REMOVED PRIOR TO STABILIZATION OF DISTURBED AREAS.
- EDGES OF DISTURBED AREAS THAT DRAIN TO A WATERBODY WITHIN 100 FT SHALL HAVE 2 ROWS OF SILT FENCE, 5 FEET APART, INSTALLED ON THE CONTOUR.
- DRAINAGE STRUCTURES SHALL BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS. ALL DEBRIS, ICE DAMS, OR DEBRIS FROM PLOWING OPERATIONS, THAT RESTRICT THE FLOW OF RUNOFF AND MELTWATER, SHALL BE REMOVED.
- SEDIMENT BARRIERS MUST BE INSTALLED AT ALL APPROPRIATE PERIMETER AND SENSITIVE LOCATIONS. SILT FENCE AND OTHER PRACTICES REQUIRING EARTH DISTURBANCE MUST BE INSTALLED BEFORE THE GROUND FREEZES.
- SOIL STOCKPILES MUST BE PROTECTED BY THE USE OF ESTABLISHED VEGETATION, ANCHORED STRAW MULCH, ROLLED STABILIZATION MATTING, OR OTHER DURABLE COVERING. A BARRIER MUST BE INSTALLED AT LEAST 15 FT FROM THE TOE OF THE STOCKPILE TO PREVENT SOIL MIGRATION AND TO CAPTURE LOOSE SOIL.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN THREE (3) DAYS. ROLLED EROSION CONTROL BLANKETS MUST BE USED ON ALL SLOPES 1:3 OR STEEPER.
- IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE. OTHER MANUFACTURED MULCHES SHOULD BE APPLIED AT DOUBLE THE MANUFACTURER'S RECOMMENDED RATE.
- TO ENSURE ADEQUATE STABILIZATION AND COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL SHOULD BE STABILIZED AT THE END OF EACH WORK DAY WITH THE FOLLOWING EXCEPTIONS:
 - WORK WILL RESUME WITHIN 24 HOURS IN THE SAME AREA AND NO PRECIPITATION IS FORECAST OR;
 - THE WORK IS IN DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS OPEN UTILITY TRENCHES, FOUNDATION EXCAVATIONS, OR WATER MANAGEMENT AREAS.
- USE STONE PATHS TO STABILIZE ACCESS PERIMETERS OF BUILDINGS UNDER CONSTRUCTION AND AREAS WHERE CONSTRUCTION VEHICLE TRAFFIC IS ANTICIPATED. STONE PATHS SHOULD BE A MINIMUM 10 FT IN WIDTH BUT WIDER AS NECESSARY TO ACCOMMODATE EQUIPMENT.
- ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE BY OCTOBER 15, OR IF NOT POSSIBLE, THEN PRIOR TO GROUND FREEZE.
- SNOW AND ICE SHALL BE REMOVED TO LESS THAN 1" THICKNESS PRIOR TO STABILIZATION.

ENGINEERING VENTURES PC
 Vermont • New Hampshire • New York
 208 Flynn Avenue, Suite 2A, Burlington, VT 05401 | (802)863-6225
 65 Mechanic Street, Suite E2-3, Lebanon, NH 03766 | (603) 442-9333
 368 Broadway, Suite 11, Saratoga Springs, NY 12866 | (518) 205-9141
 www.engineeringventures.com

C504

NOT FOR CONSTRUCTION

EROSION & SEDIMENT CONTROL DETAILS

John G. Waite Associates, PLLC
 384 Broadway
 Albany, NY 12207
 518.449.5440 tel
 518.449.5826 fax

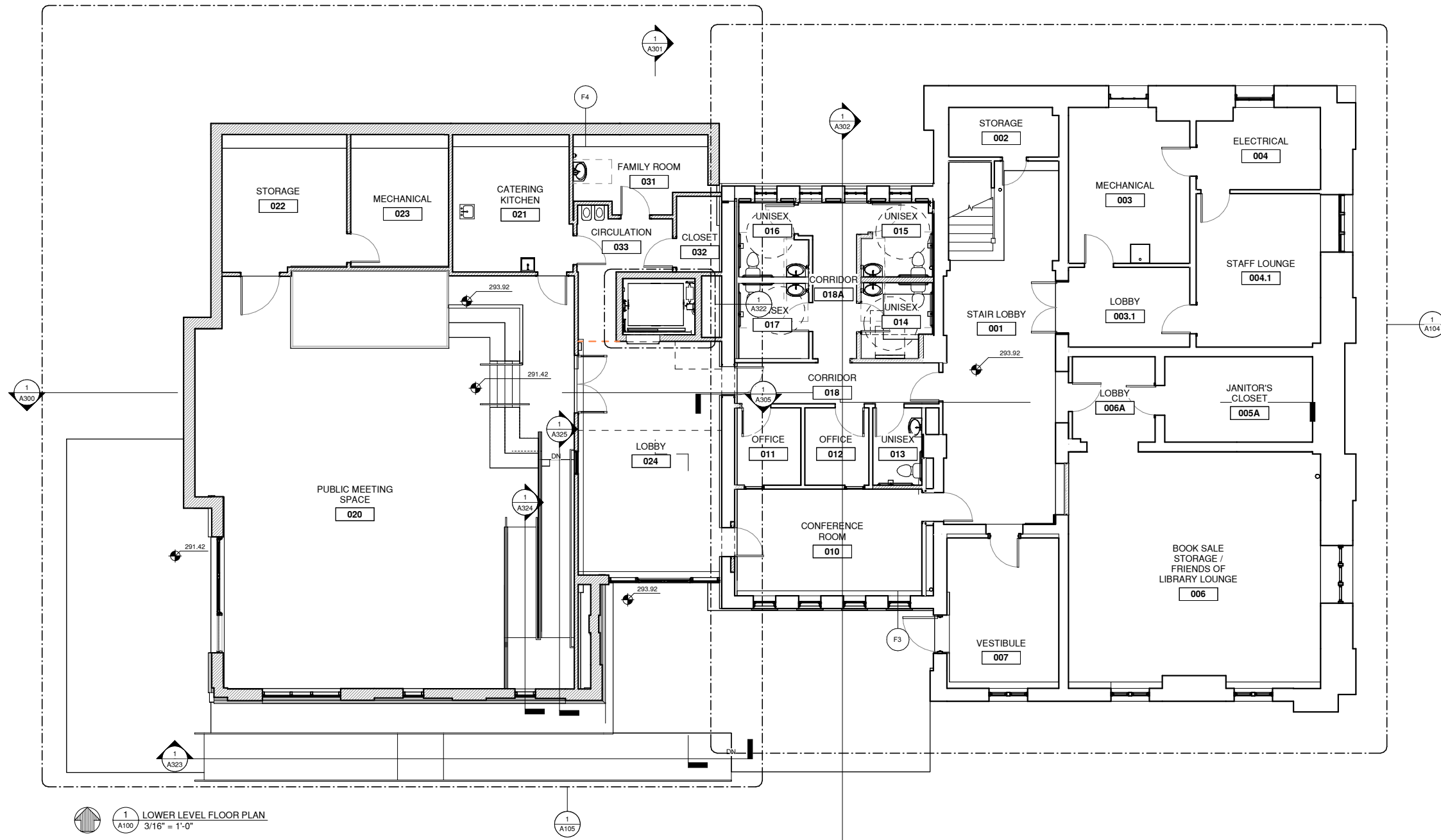
64 Fulton Street, Suite 402
 New York, NY 10036
 212.619.4881 tel
 212.619.4882 fax

AMSTERDAM FREE LIBRARY

28 CHURCH STREET

SCALE AS NOTED
 PROJECT NO. 202-07.1
 DRAWN BY MHD
 DATE APRIL 3, 2026
 REVISED

C504



1 LOWER LEVEL FLOOR PLAN
A100 3/16" = 1'-0"

SCALE: 3" = 16'-0" 0' 4' 8' 12'

A100

DRAFT
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CONSTRUCTION

LOWER LEVEL FLOOR
PLAN

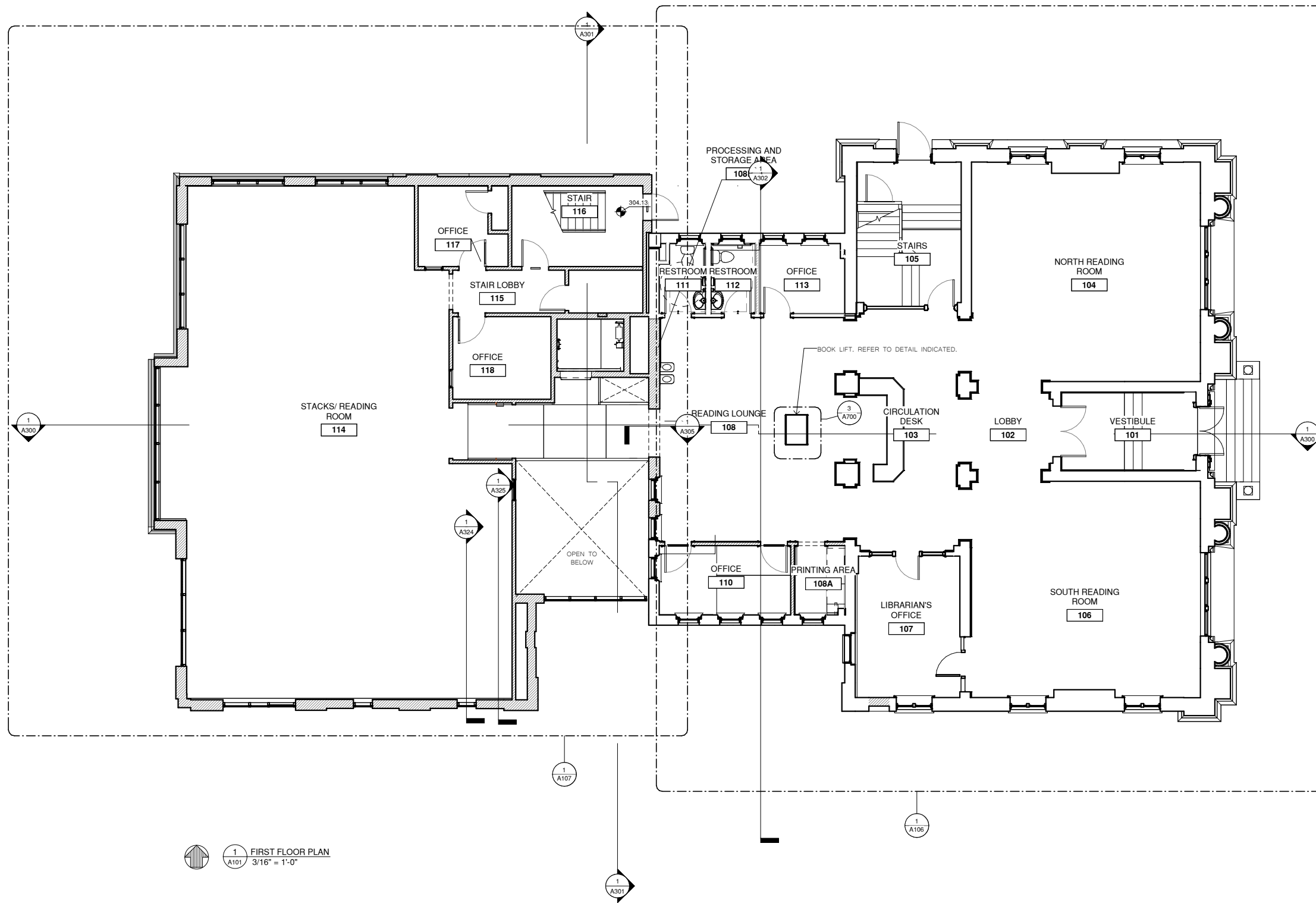
Architects
John G. Waite Associates, P.C.
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John G. Waite Associates, P.C.
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28 CHURCH STREET

SCALE	AS NOTED
ARCHITECT PROJECT NUMBER	2020-07.1
DRAWN BY	JGWA
DATE	02/10/2022
REVISIONS	

A100



1 FIRST FLOOR PLAN
A101 3/16" = 1'-0"

SCALE: 3" = 16'-0" 0' 4' 8' 12'

A101

DRAFT
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CONSTRUCTION

FIRST FLOOR PLAN

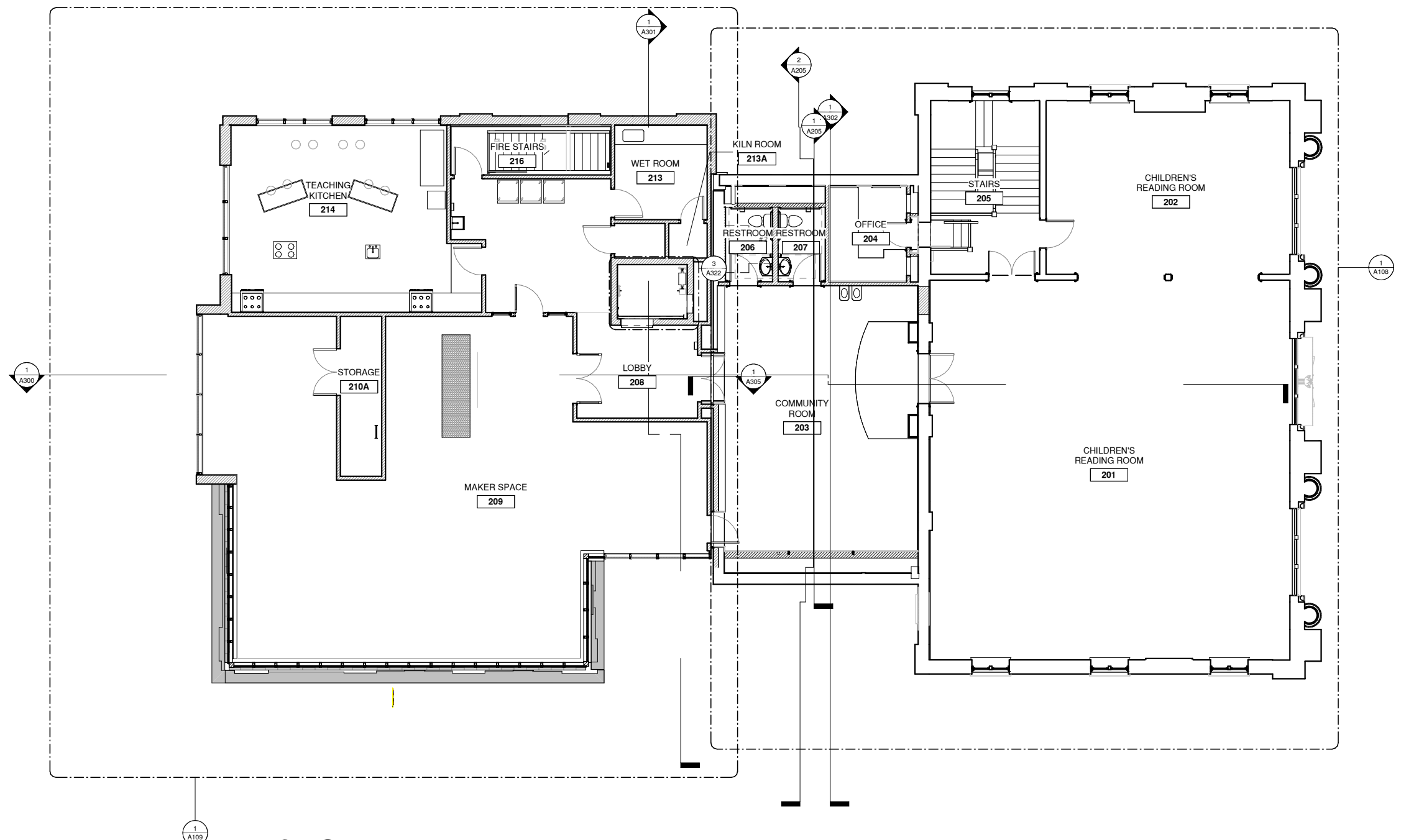
Architects
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518-449-5828 fax

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28 CHURCH STREET

ROLE
AS NOTED
ARCHITECT PROJECT NUMBER
2020-07.1
DRAWN BY
JGWA
DATE
02/10/2022
REVISIONS

A101



1 SECOND FLOOR PLAN
A102 3/16" = 1'-0"

SCALE: 3" = 16'-0" 0' 4' 8' 12'

A102

DRAFT
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CONSTRUCTION

SECOND FLOOR PLAN

Architects
John G. Waite Associates, P.C.
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Albany, NY 12207
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ROLE	AS NOTED
ARCHITECT PROJECT NUMBER	2020-07.1
DRAWN BY	AUTHOR
DATE	02/10/2022
REVISIONS	

A102



1 EAST ELEVATION
A200 3/16" = 1'-0"

A200

DRAFT
NOT FOR
CONSTRUCTION

EAST ELEVATIONS

Architects
John G. Waite Associates, P.C.
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SCALE
1/4" = 1'-0"
ARCHITECT PROJECT NUMBER
2020-07.1
DRAWN BY
DATE
02/10/2022
REVISIONS

A200

A201

DRAFT

NOT FOR CONSTRUCTION

SOUTH ELEVATION

Architects
John G. Waite Associates, P.C.
64 Fulton Street, Suite 402
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212.619.4881 tel
212.619.4882 fax

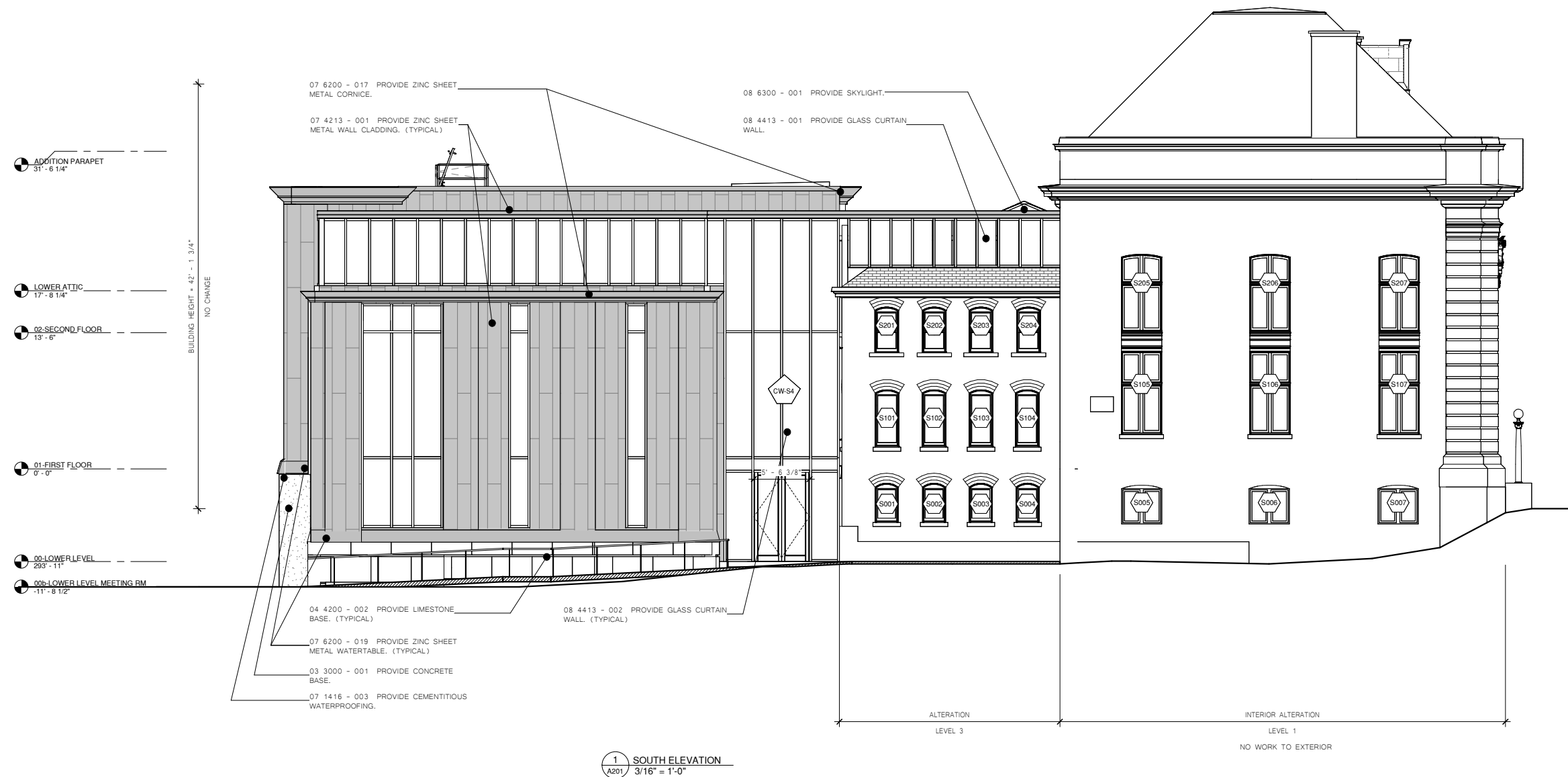
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28 CHURCH STREET

SCALE
1/4" = 1'-0"
PROJECT NUMBER
2020-07.1
DRAWN BY
DATE
02/10/2022
REVISIONS

A201

GENERAL NOTE:

PROVIDE CEMENTITIOUS DAMPPROOFING TO ALL UNEXPOSED BACK AND BOTTOM AND TO 100% OF LIMESTONE BELOW FINISHED GRADE. PROVIDE ADEQUATE CURE TIME.



1 SOUTH ELEVATION
A201 3/16" = 1'-0"

A202

DRAFT
NOT FOR
CONSTRUCTION

WEST ELEVATIONS

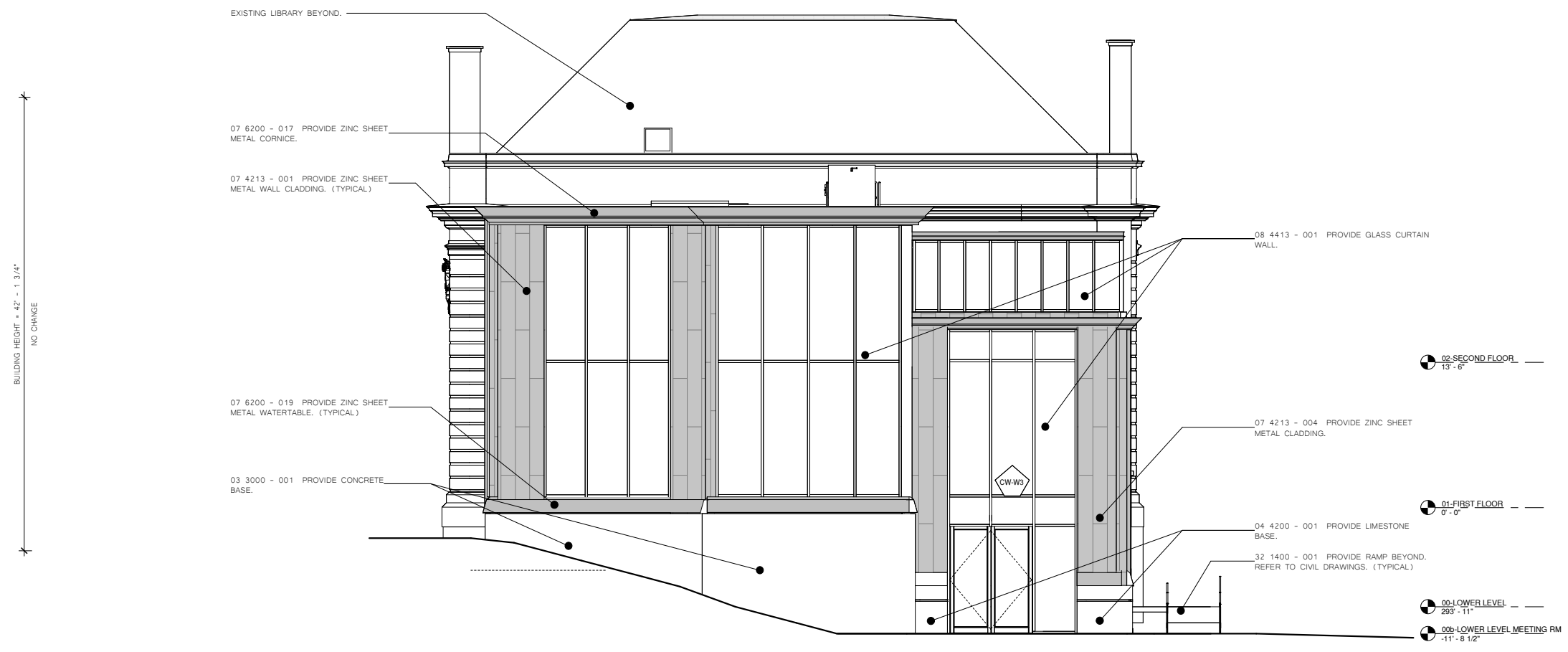
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John G. Waite Associates, P.C.
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28 CHURCH STREET

SCALE
1/4" = 1'-0"
ARCHITECT PROJECT NUMBER
2020-07.1
DRAWN BY
DATE
02/10/2022
REVISIONS

A202



1 WEST ELEVATION
A202 3/16" = 1'-0"

This side to be completed by Montgomery County Planning.

REFERRAL FORM
MONTGOMERY COUNTY PLANNING BOARD

TO: _____

Receipt of 239-m referral is acknowledged on _____. Please be advised that the Montgomery County Planning Board has reviewed the proposal stated on the opposite side of this form on _____ and makes the following recommendation.

- Approves

- Approves (with Modification)

- Disapproves:

- No significant County-wide or inter-community input

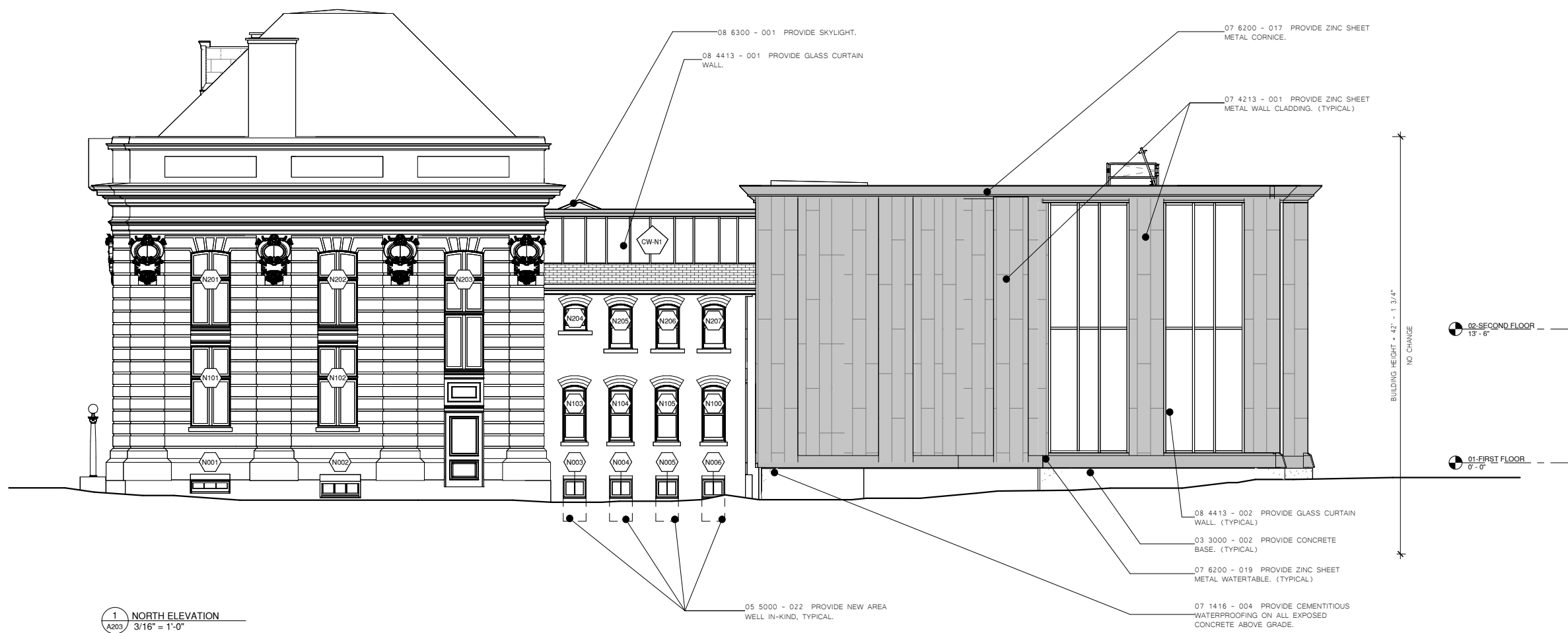
- Not subject to Planning Board review

- Took no action

Section 239-m of the General Municipal Law requires that within thirty days after final action by the municipality is taken; a report of the final action shall be filed with the County Planning Board.

Date

Kenneth F. Rose, Director
Montgomery County Dept. of Economic
Development and Planning



1 NORTH ELEVATION
A203 3/16" = 1'-0"

A203

DRAFT
NOT FOR
CONSTRUCTION

NORTH ELEVATION

Architects
John G. Waite Associates, P.C.
64 Fulton Street, Suite 402
New York, NY 10038
212.619.4881 tel
212.619.4882 fax

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28 CHURCH STREET

SCALE	1/4" = 1'-0"
ARCHITECT PROJECT NUMBER	2020-07.1
DRAWN BY	
DATE	02/10/2022
REVISIONS	

A203

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
assigned by the MCPB upon
acceptance of referral for review

This Referral must be received SEVEN CALENDAR DAYS prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
Old County Courthouse,
PO Box 1500, Fonda, New York 12068
Phone: 518-853-8334
Fax: 518-853-8336

FROM: Municipal Board: Village of Fultonville ZBA
Referring Officer: Grant Egelston
Mail original resolution to: _____
fultonvillevillagecodes@gmail.com
fultonvillevillageclerk@gmail.com

1. Applicant: Darvin Brea & Darlene Then 2. Site Address: 28 Riverside Dr
3. Tax Map Number(s): 35.16-2-12 4. Acres: 0.63
5. Is the site currently serviced by public water? Yes No
6. On-site waste water treatment is currently provided by: Public Sewer or Septic System
7. Current Zoning: B-2 General Commercial 8. Current Land Use: Unimproved
9. Project Description: 4 bay truck garage with office space.

10. MCPB Jurisdiction:

<input type="checkbox"/> Text Adoption or Amendment	<input checked="" type="checkbox"/> Site is located within 500' of: <u>Riverside Dr.</u> <i>(Specify by Name)</i>
Check All That Apply	<input type="checkbox"/> a municipal boundary. <input checked="" type="checkbox"/> a State or County thruway/highway/roadway <input type="checkbox"/> an existing or proposed State or County park/recreation area <input type="checkbox"/> an existing or proposed County-owned stream or drainage channel <input type="checkbox"/> a State or County-owned parcel on which a public building or institution is situated <input type="checkbox"/> a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)

11. PUBLIC HEARING: Date: 4/20/26 Time: 6:05pm Location: Village Hall

Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. Text Adoption or Amendment Referring Board:

<input type="checkbox"/> Comprehensive Plan	<input type="checkbox"/> Local Law	<input type="checkbox"/> Zoning Ordinance	<input type="checkbox"/> Other _____
---	------------------------------------	---	--------------------------------------

13. Zone Change Referring Board:

Proposed Zone District: _____	Number of Acres: _____
Purpose of the Zone Change: _____	

14. Site Plan Project Site Review Referring Board: Village Board (acting as P.B.)

Proposed Improvements: <u>4-bay truck garage</u>	
Proposed Use: <u>truck servicing</u>	
Will the proposed project require a variance? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Type: <input checked="" type="checkbox"/> Area <input type="checkbox"/> Use
Specify: <u>side & rear setbacks</u>	
Is a State of County DOT work permit needed? If Yes : <input type="checkbox"/> State or <input type="checkbox"/> County	<input checked="" type="checkbox"/> No
Specify: _____	

15. Special Permit

Referring Board:

Section of local zoning code that requires a special permit for this use: _____

Will the proposed project require a variance? Yes No Type: Area Use

16. Variance

Referring Board: Fultonville ZBA

Area Use

Section(s) of local zoning code to which the variance is being sought: 145-14

Describe how the proposed project varies from the above code section: Cannot meet side and rear setbacks

Required for "truck terminal": 25' side & 50' rear Proposed: 10' side & 20' rear

SEQR Determination

Action:

Finding:

- Check One
- Type I
 - Type II
 - Unlisted Action
 - Exempt

- Positive Declaration – Draft EIS
- Conditional Negative Declaration
- Negative Declaration
- No Finding (Type II Only)

SEQR determination made by (Lead Agency): _____ Date: _____

REQUIRED MATERIAL

Send 13 copies of a "Full Statement of the Proposed Action" which includes:

All materials required by and submitted to the referring body as an application

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 1 and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Grant Egelston, Code Enforcement, 518-848-5460
Name, Title & Phone Number of Person Completing this Form

4/29/26
Transmittal Date

BUILDING PERMIT APPLICATION

Date: 3/26/27

Permit Number: _____

Village of Fultonville
PO Box 337
Fultonville, NY 12010

35-16-2-12

Jim Castrucci, Building Inspector
Office/Clerk: (518) 853-3815
Fax: (518) 853-4813

Address of Proposed Work: 28 Riverside Drive Fultonville Ny

Zoning District: _____ Section _____ Block _____ Lot _____

Property Owner(s): Darvin Brea + Darlene Then

Legal Address: 25 Rosa Rd City Schenectady State ny Zip 12308

Owner's Phone Number: 3478934074 Property owner doing work themselves: Yes _____ No

Contractor: David yoder OBA. _____

Legal Address: _____ City _____ State _____ Zip _____

Contractor's Phone Number: _____

Permit is for:

- New Residential Building New Commercial Building Certificate of Occupancy
- Addition/Structural Repairs Accessory Structure Deck/Porch/Exterior Stairs
- Roofing Windows *Please attach Energy Efficiency Docs* Fence Pool Demolition

Other (Please explain) _____

Brief description of work to be done:

Building a 4 bay truck garage building with office space

Please provide a drawing with dimensions of the lot with regard to the street frontage and interior lot lines, location of all structure(s) existing & proposed, and/or detailed drawing with dimensions of the construction proposed, or attach site plans, drawings, or stamped plans for new construction.

(You may use the back of this page.)

Estimated cost of all work proposed: \$300,000 (Please include a material list)

Name of Applicant: Darlene Then Signature of Applicant: Darlene Then

Approved by Inspector: _____ Date: _____

Inspector Remarks or Special Conditions: _____

Building Permit Fee: \$ _____

AREA VARIANCE APPLICATION

Date: 4/20/26

Permit Number: _____

Village of Fultonville
PO Box 337
Fultonville, NY 12010

Grant Egelston, Building Inspector
Office/Clerk: (518) 853-3815
Fax: (518) 853-4813

Property Address: 28 Riverside Drive

Zoning District: _____

Section _____ Block _____ Lot _____

Property Owner(s): Darlene Then + Darin Brea

Legal Address: 25 Rosa Rd City Schenectady State Ny Zip 12308

Owner's Phone Number: 347893 4074 Owner's Email: thendarlene@gmail.com

Applicant Name: Darlene Then

Legal Address: 25 Rosa Rd City Schenectady State Ny Zip 12308

Applicant's Phone Number: 3478934074 Email: thendarlene@gmail.com

Variance requested for the following section(s) of the Zoning Code:

TO allow our setbacks to be 20 ft from rear & 10 from side

Brief description of Area Variance requested:

The requested area variance is to allow a reduction in the required setbacks distances for the proposed garage structure. Specifically the rear setback reduced from 50 ft to 20 ft and the side 20 ft to 10 ft.

REVIEW CRITERIA:

An area variance is a variance granted by the ZBA that allows a structure to be built and/or renovated despite the fact that certain square footage, distance or dimensional requirements of the zoning ordinance would not be met. Examples of such requirements are minimum lot size requirements, minimum lot width requirements, minimum lot coverage requirements, maximum lot coverage requirements, front, side and/or rear yard setback requirements, maximum building height and minimum gross floor area. An area variance may be granted upon a showing of the following practical difficulties.

The Zoning Board of Appeals must grant the minimum variance that it deems necessary and adequate. The board does not need to grant an applicant everything he/she asked for. Rather, the board is required to grant only the approval that is absolutely necessary to afford relief.

Name of Applicant: Darlene Then Applicant Signature: Darlene Then

Zoning Officer: _____ Date: _____

1. The proposed area variance will not cause any change in the character of the neighborhood. The property is being developed for a garage structure that is consistent with the surrounding area and similar to other properties in use. The building will be used in a controlled and professional manner, with no excessive noise, traffic, or disruption to neighboring properties.

The design includes proper spacing, organized parking, and clear access points to ensure safety and minimal impact. The structure will be maintained in good condition and will not create any visual or environmental issues. Overall, the project will fit in with the existing neighborhood and may even improve the property's appearance and functionality.

2. There are no other feasible alternatives to achieve the same goal without requiring an area variance. Due to the layout and size of the property, any modification to comply strictly with zoning requirements would significantly limit the intended use and functionality of the project.

Reducing the scope of the project would make it impractical and would not allow for the proper use of the property as intended. Therefore, without the requested variance, the project would not be a viable investment. The proposed plan represents the most reasonable and efficient use of the property while maintaining compatibility with the surrounding area.

3. The requested variance represents a reduction in the required setback distances. The rear setback is proposed to be reduced from 50 feet to 20 feet, which is a 30-foot reduction. The side setback is proposed to be reduced from 20 feet to 10 feet, which is a 10-foot reduction.

While these reductions may appear substantial numerically, they are necessary due to the size and layout of the property in order to allow for a functional and reasonable use of the land. The proposed placement has been carefully considered to maintain adequate spacing, ensure safety, and minimize any impact on neighboring properties.

The overall character of the neighborhood will remain unchanged, as the structure will still be appropriately positioned and will not create overcrowding or interfere with adjacent properties. The variance requested is the minimum necessary to achieve the intended use of the property.

4. There will be no negative physical or environmental impacts as a result of granting the requested area variance. The project will include proper drainage systems designed to manage stormwater runoff effectively and prevent any adverse effects on surrounding properties.

In addition, filtration measures will be implemented to ensure that no harmful substances enter the sewer system or local waterways. The use of the property will be controlled and maintained in a clean and responsible manner, minimizing any potential impacts related to noise, traffic, or odor.

Overall, the project has been planned with consideration for environmental protection and will comply with all applicable regulations to ensure no detrimental impact on the surrounding area.

5. The need for the requested area variance is not self-created, but rather a result of the existing conditions and limitations of the property. The size, shape, and layout of the lot restrict the ability to develop the property in full compliance with current setback requirements.

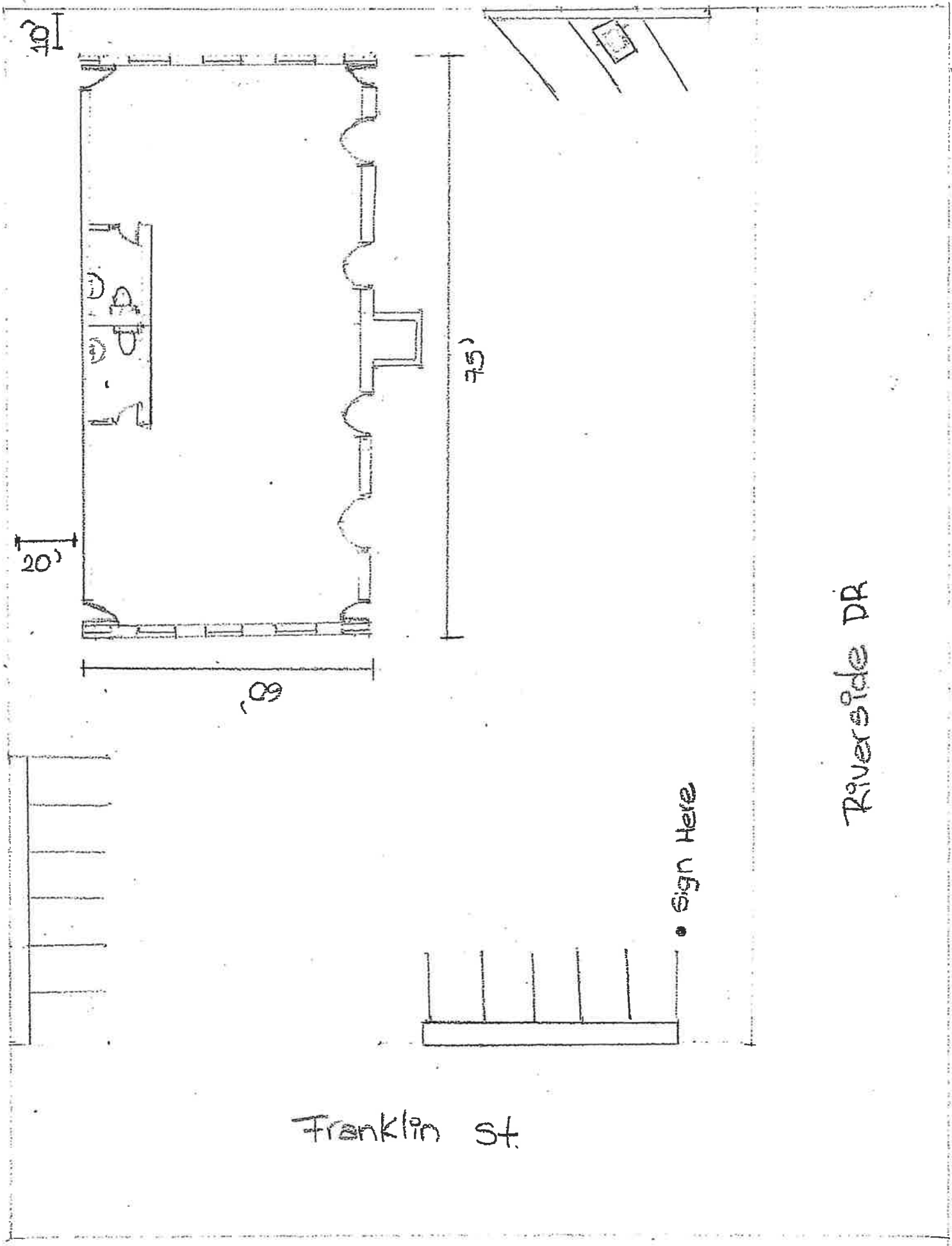
The proposed project has been designed to make reasonable and practical use of the property while working within these physical constraints. The variance is necessary to allow for a functional structure, and the request represents the minimum relief required.

The applicant has made efforts to design the project in a way that minimizes the need for variances while still achieving a reasonable use of the property.

6. Granting the requested area variance will allow for the reasonable and functional use of the property, enabling the development of a properly designed garage structure. Without the variance, the project would be significantly limited and would not be a practical use of the land.

The proposed project will improve the overall utility and organization of the property, providing a clean, structured, and well-maintained space. It will also contribute positively to the area by maintaining a professional appearance and supporting local economic activity.

Additionally, the project has been designed with consideration for safety, proper drainage, and minimal impact on surrounding properties, ensuring that it benefits both the applicant and the community as a whole.



• Sign Here

Franklin St.

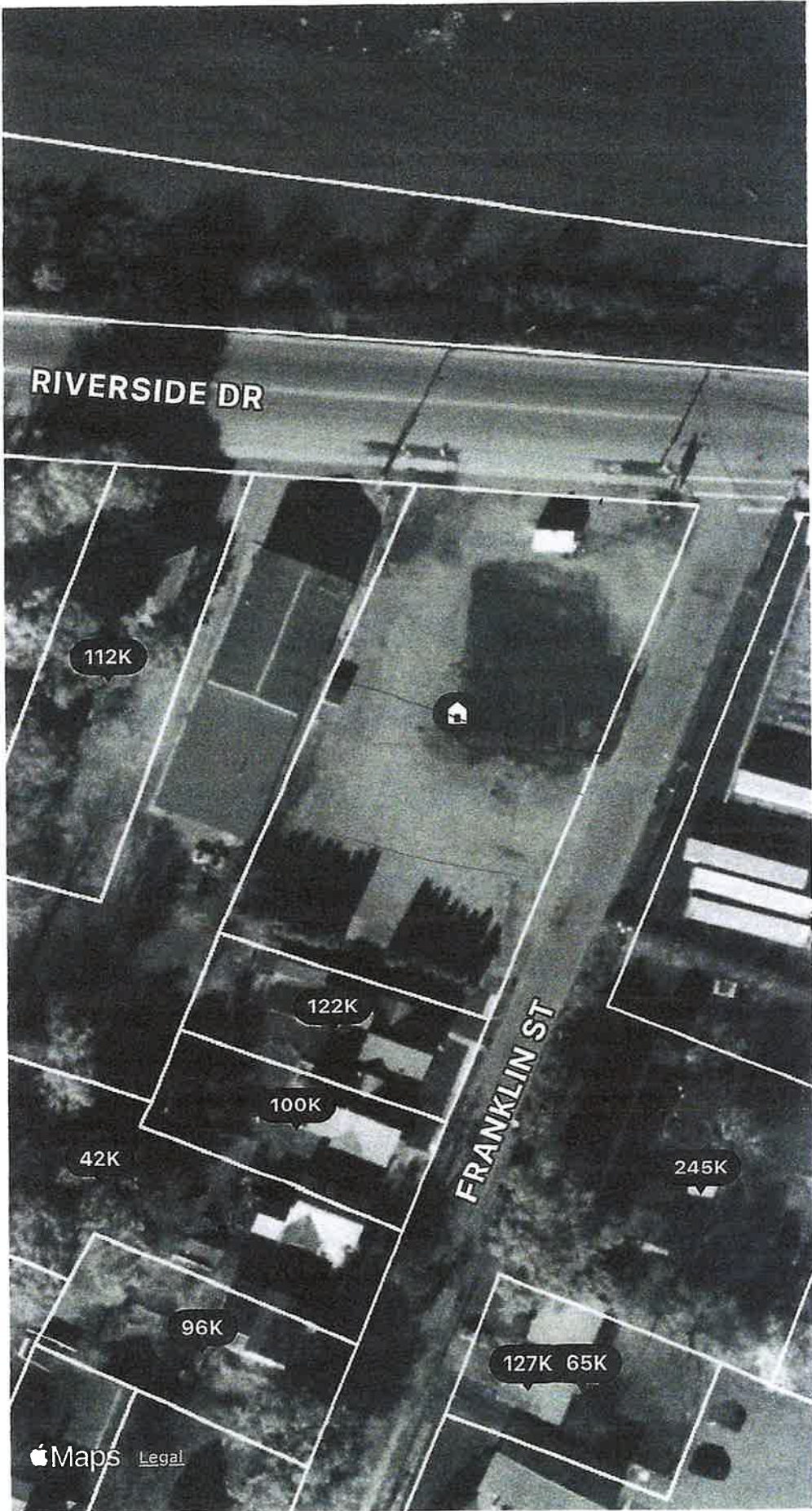
Riverside Dr



Map

Lot Lines

Street View



11:03

Safari

Signal strength, Wi-Fi, and battery icons



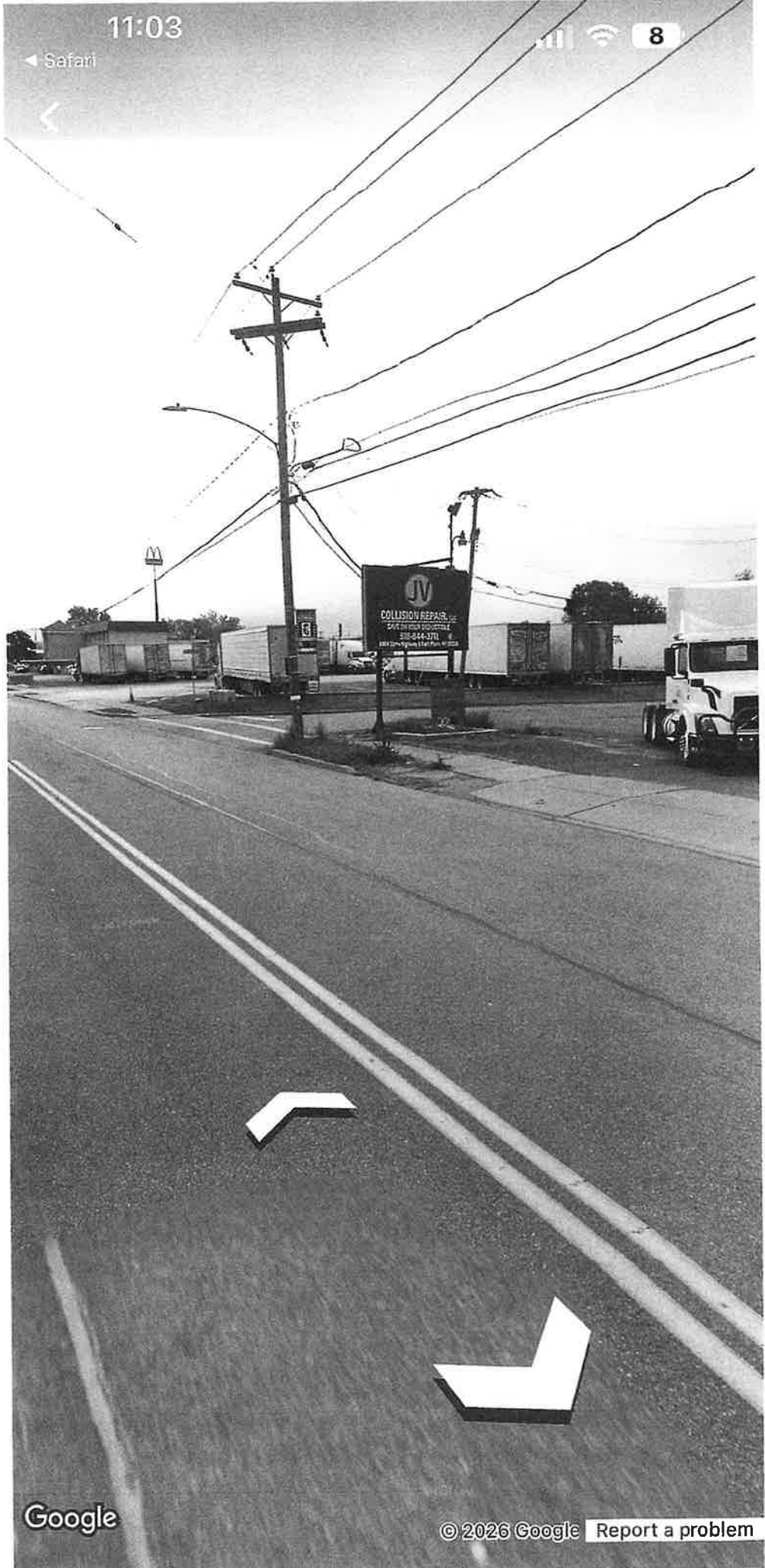
Sign on corner of Riverside + Franklin



11:03

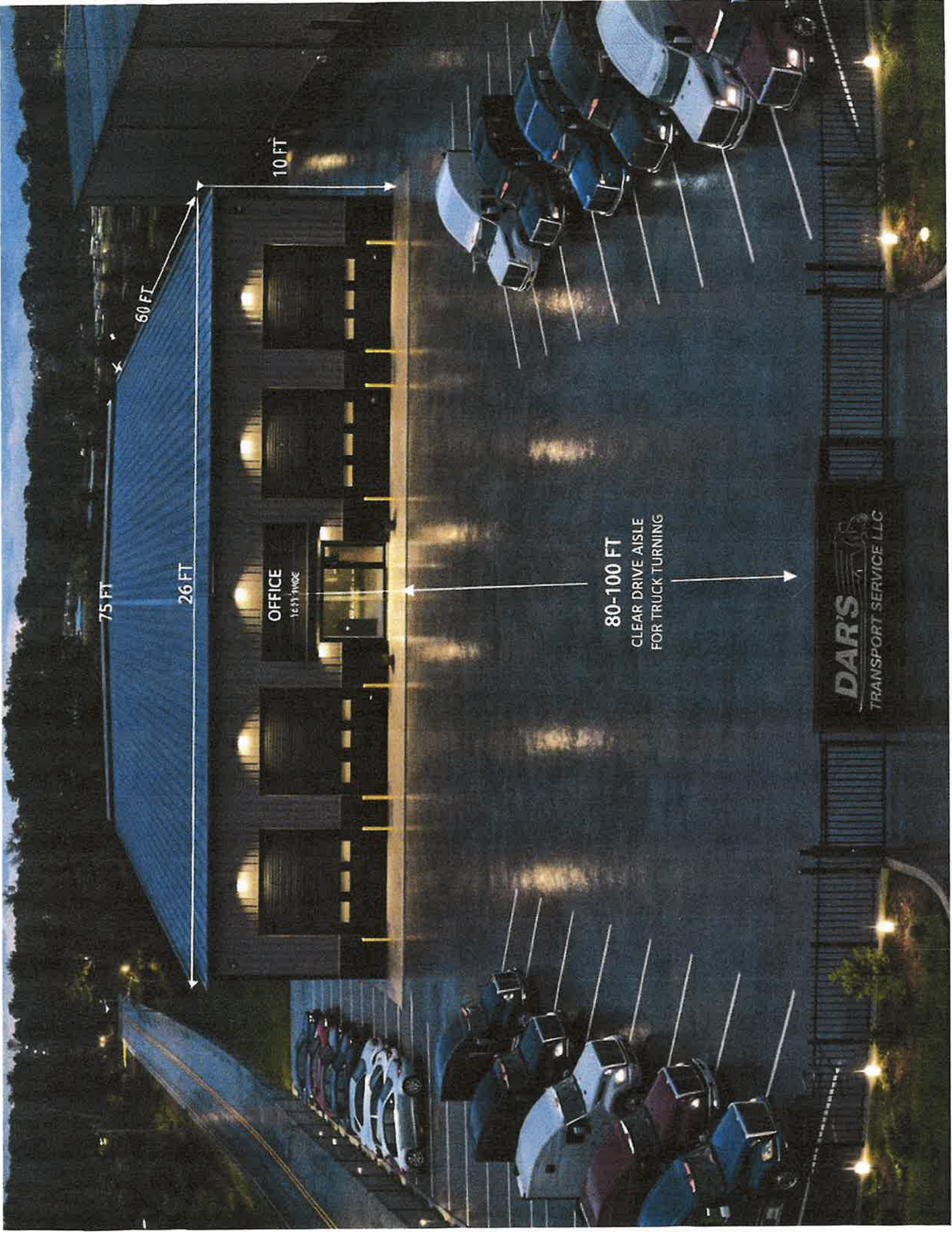
← Safari

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Google

© 2026 Google [Report a problem](#)



75 FT

60 FT

26 FT

10 FT

OFFICE
1631 1/2 WDC

80-100 FT
CLEAR DRIVE AISLE
FOR TRUCK TURNING

DAR'S
TRANSPORT SERVICE LLC

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map): <i>28 Riverside Drive Fultonville NY</i>			
Brief Description of Proposed Action: <i>4 bay truck garage</i>			
Name of Applicant or Sponsor: <i>Darlene Tran</i>		Telephone: <i>3478934074</i>	
		E-Mail: <i>thendarlene@gmail.com</i>	
Address: <i>25 Rosa Rd</i>			
City/PO: <i>Schenectady</i>		State: <i>Ny</i>	Zip Code: <i>12208</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		<i>0.63</i> acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>	NO	YES
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	NO	YES
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	NO	YES
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input checked="" type="checkbox"/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and <u>storm drains</u>)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>DARLENE Mee</u> Date: <u>4/1/20</u>		
Signature: <u>Darlene Mee</u> Title: <u>owner</u>		

This side to be completed by Montgomery County Planning.

REFERRAL FORM
MONTGOMERY COUNTY PLANNING BOARD

TO: _____

Receipt of 239-m referral is acknowledged on _____. Please be advised that the Montgomery County Planning Board has reviewed the proposal stated on the opposite side of this form on _____ and makes the following recommendation.

- Approves

- Approves (with Modification)

- Disapproves:

- No significant County-wide or inter-community input

- Not subject to Planning Board review

- Took no action

Section 239-m of the General Municipal Law requires that within thirty days after final action by the municipality is taken; a report of the final action shall be filed with the County Planning Board.

Date

Kenneth F. Rose, Director
Montgomery County Dept. of Economic
Development and Planning

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
 assigned by the MCPB upon
 acceptance of referral for review

This Referral must be received SEVEN CALENDAR DAYS prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
 Old County Courthouse,
 PO Box 1500, Fonda, New York 12068
 Phone: 518-853-8334
 Fax: 518-853-8336

FROM: Municipal Board: Village of Fultonville ZBA
 Referring Officer: Grant Egelston
 Mail original resolution to: _____
fultonvillevillagecodes@gmail.com
fultonvillevillageclerk@gmail.com

1. Applicant: TA Operating LLC / AJ Signs 2. Site Address: 76 Union St Ext.
 3. Tax Map Number(s): 35.20-1-57.1 4. Acres: 4.6
 5. Is the site currently serviced by public water? Yes No
 6. On-site waste water treatment is currently provided by: Public Sewer or Septic System
 7. Current Zoning: M-1 Manufacturing 8. Current Land Use: Unimproved
 9. Project Description: Pylon sign

10. MCPB Jurisdiction:

Text Adoption or Amendment Site is located within 500' of: NYS Thruway I-90
(Specify by Name)

Check All That Apply

a municipal boundary.
 a State or County thruway/highway/roadway
 an existing or proposed State or County park/recreation area
 an existing or proposed County-owned stream or drainage channel
 a State or County-owned parcel on which a public building or institution is situated
 a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)

11. PUBLIC HEARING: Date: 4/20/26 Time: 6:05pm Location: Village Hall

Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. Text Adoption or Amendment **Referring Board:**

Comprehensive Plan Local Law Zoning Ordinance Other _____

13. Zone Change **Referring Board:**

Proposed Zone District: _____ Number of Acres: _____
 Purpose of the Zone Change: _____

14. Site Plan Project Site Review **Referring Board: Village Board (acting as P.B.)**

Proposed Improvements: Pylon Sign
 Proposed Use: Pylon sign

Will the proposed project require a variance? Yes No Type: Area Use
 Specify: exceeds height, exceeds allowable sign area

Is a State of County DOT work permit needed? If Yes : State or County No
 Specify: _____

15. **Special Permit**

Referring Board:

Section of local zoning code that requires a special permit for this use: _____

Will the proposed project require a variance? Yes No Type: Area Use

16. **Variance**

Referring Board: Fultonville ZBA

Area Use

Section(s) of local zoning code to which the variance is being sought: 145-14; 145-22-B-1

Describe how the proposed project varies from the above code section: Sign will be 150' tall with a sign area of 1,194 sq. ft.

SEQR Determination

Action:

Finding:

- Check One
- Type I
 - Type II
 - Unlisted Action
 - Exempt

- Positive Declaration – Draft EIS
- Conditional Negative Declaration
- Negative Declaration
- No Finding (Type II Only)

SEQR determination made by (Lead Agency): _____ Date: _____

REQUIRED MATERIAL

Send 13 copies of a “Full Statement of the Proposed Action” which includes:

All materials required by and submitted to the referring body as an application

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 1 and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Grant Egelston, Code Enforcement, 518-848-5460

4/29/26

Name, Title & Phone Number of Person Completing this Form

Transmittal Date

AREA VARIANCE APPLICATION

Date: 4/14/2025

Permit Number: _____

Village of Fultonville
PO Box 337
Fultonville, NY 12010

Grant Egelston, Building Inspector
Office/Clerk: (518) 853-3815
Fax: (518) 853-4813

Property Address: 76 Union St Ext
Zoning District: M1 **Section** 35.20 **Block** 1 **Lot** 57.1

Property Owner(s): TA Operating LLC
Legal Address: 24601 Center Ridge Rd City Westlake State OH Zip 44145
Owner's Phone Number: 480-271-3170 Owner's Email: Kylie@LVPmfg.com

Applicant Name: AJ Signs
Legal Address: 842 Saratoga Rd City Burnt Hills State NY Zip 12027
Applicant's Phone Number: 518-399-9291 Email: kristen@ajsigns.com

Variance requested for the following section(s) of the Zoning Code:
145 Schedule B 145-22-B-1

Brief description of Area Variance requested:

We are requesting an area variance to permit the installation of a new pylon sign adjacent to the I90 ramp. The proposed sign will have a height of 150 feet and a total sign area of 1194.10 sq feet. This variance is sought to ensure maximum visibility to motorists exiting I-90 allowing them to clearly identify and access the travel center.

REVIEW CRITERIA:

An area variance is a variance granted by the ZBA that allows a structure to be built and/or renovated despite the fact that certain square footage, distance or dimensional requirements of the zoning ordinance would not be met. Examples of such requirements are minimum lot size requirements, minimum lot width requirements, minimum lot coverage requirements, maximum lot coverage requirements, front, side and/or rear yard setback requirements, maximum building height and minimum gross floor area. An area variance may be granted upon a showing of the following practical difficulties.

The Zoning Board of Appeals must grant the minimum variance that it deems necessary and adequate. The board does not need to grant an applicant everything he/she asked for. Rather, the board is required to grant only the approval that is absolutely necessary to afford relief.

Name of Applicant: Thomas Wheeler Applicant Signature: _____

Zoning Officer: Egelston Date: 4-17-26

Please complete this form with as much detail as you can provide to the Zoning Board of Appeals. If you should require more space to write, please include any additional attachments and documents to this application.

1. Character of Neighborhood. If the area variance is granted, will it cause a change in the neighborhood that is out of place from other neighboring properties?

The area in which the proposed sign will be installed is a highly commercial in nature. As such the sign will be consistent with other similar sized signs in the immediate vicinity and will not effect existing character of the neighborhood and will not appear out of place nor result in any change to the surrounding environment. The proposed sign location- at the I90 off ramp- is specifically intended to serve a wayfinding function. The sign is designed to provide clear and visible guidance to motorists exiting the highway, enabling them to easily the travel center and access its services. This is particularly important for truck drivers and other highway travelers who rely on advanced notice to safely navigate to fuel, food and service offered at the site.

2. Other Alternatives. Is there another feasible way you can achieve the same goal or project without needing an area variance?

There is no practical alternative other than signage to notify drivers of the travel center's location and the services it provides. Due to the nature of highway travel, motorists- particularly those exiting I-90- depend on clear, visible signage to make timely and safe navigation decisions. The proposed height of 150 feet is what has been determined, via a Balloon Test, will ensure maximum visibility from I-90, allowing sufficient time to recognize and respond to the travel center. The 1194.10 sq ft is required to adequately represent the full range of amenities.

3. Substantial. How much of a deviation from the stated regulation is this variance? This can be discussed both numerically and in terms of change of character from the neighborhood.

The requested deviation could be seen as substantial in comparison to the permitted 32 sq ft and 50' max height, however is justified when viewed in context of the site's location. The sign will be situated at a distance from from I-90 and will be surrounded by trees which would significantly limit visibility from the ramp of I 90 at a height of 50' and 32 sq ft. Motorists traveling in the area will need to know that there are services available to them as they exit. The 150' height and additional square footaae will allow for them to effectively communicate that gas, food and the truck services are offered to travelers particularly truck drivers.

4. Physical or Environmental Conditions. Will there be any impacts to the environment caused by the granting of the area variance? Any impacts to drainage, traffic, noise, odor, etc.?

The sign will have no impact on the environmental conditions of the area. The signs operation will not generate and noise, emissions or other environmental impacts.

5. Not self-created. Describe if the alleged difficulty was self-created (did you cause the need for the variance). This response shall be considered by the Board of Appeals but shall not necessarily preclude the granting of the variance:

The need for additional signage could be seen as self created however should not diminish the importance of providing effective wayfinding for motorists in the area. The primary purpose of the proposed signage is to ensure that drivers on I90 are adequately informed of the travel centers location and the services available to them.

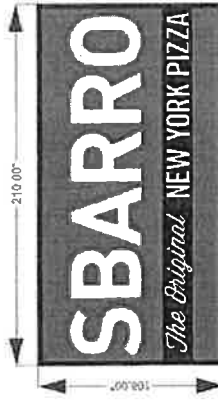
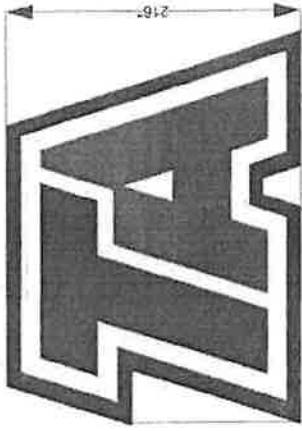
6. Benefit to Applicant. Describe how the requested variance would benefit you and your project.

The requested variance directly benefits the applicant by allowing the proposed sign to achieve the necessary visibility to effectively serve its intended purpose. The additional height and square footage will make the sign clearly visible to motorists on I90, ensuring travelers are aware of the travel center and the services it provides. Without the variance the sign will be significantly limited in its ability to communicate with passing motorists thereby reducing its effectiveness and the applicants ability to serve the traveling public.

PROPOSED:

FABRICATE AND
INSTALL NEW 150'
HIGH RISE

RECEIVE AND
INSTALL 114"
SUNSHINE DIGITS

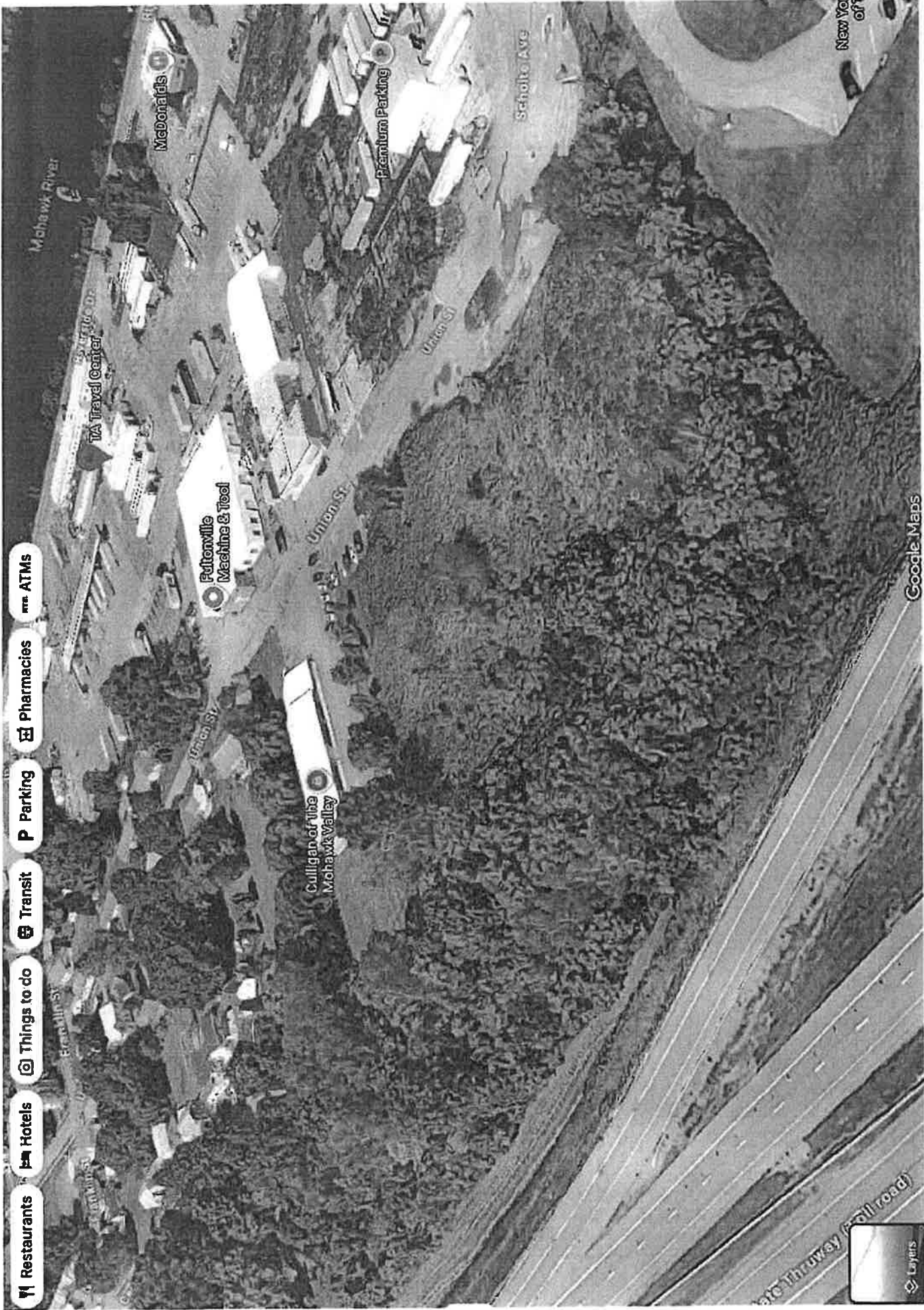


LOCATION: 40 Riverside Dr, Fultonville, NY 12072, USA

PROJECT: FULTONVILLE, NY

LVP
MANUFACTURING

Account Executive:	Designer:
Est. Number:	Design Number:
HEAT:	DATE:



Restaurants

Hotels

Things to do

Transit

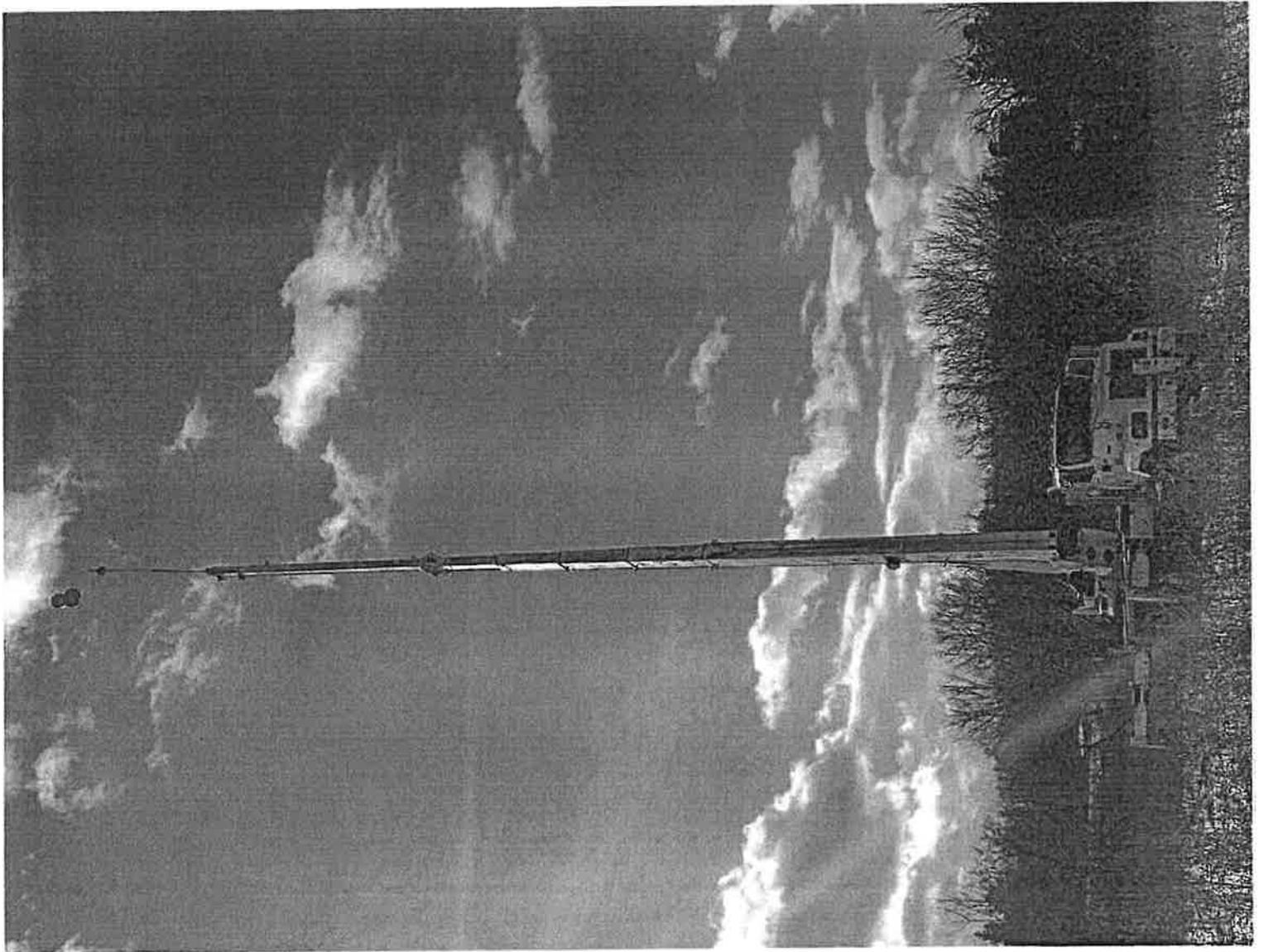
Parking

Pharmacies

ATMs

Google Maps

Layers



This side to be completed by Montgomery County Planning.

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

TO: _____

Receipt of 239-m referral is acknowledged on _____. Please be advised that the Montgomery County Planning Board has reviewed the proposal stated on the opposite side of this form on _____ and makes the following recommendation.

- Approves

- Approves (with Modification)

- Disapproves:

- No significant County-wide or inter-community input

- Not subject to Planning Board review

- Took no action

Section 239-m of the General Municipal Law requires that within thirty days after final action by the municipality is taken; a report of the final action shall be filed with the County Planning Board.

Date

Kenneth F. Rose, Director
Montgomery County Dept. of Economic
Development and Planning

SUPERVISOR
518-993-3443

ASSESSORS
518-993-4844

COURT
518-993-3616



Town of Minden

Municipal Building 134 State Highway 80, Fort Plain, NY 13339

TOWN CLERK
518-993-3443

HIGHWAY SUPERINTENDENT
518-993-3351

ZONING & CODES
518-993-3443

May 5, 2026

Montgomery County Planning Board

We are submitting the zoning board application that we received to you for review. It was originally submitted as a Planning Board subdivision application. Our Planning Board referred it to our Zoning Board because the road frontage was only 122', not our 200' regulation. Our Zoning Board met last night, and it was mentioned that it needed to be brought to your board for approval.

If you have any questions, please contact the people below

Jim Welch's phone number is 518-858-6709 Planning Board Chair
Neal Erkson's phone number is 518-429-1516 Zoning Board Chair

Thank you,

A handwritten signature in blue ink that reads "Tammy Beauregard". The signature is written in a cursive style.

Tammy Beauregard
Town Clerk
Zoning Board Secretary
Planning Board Secretary

REFERRAL FORM

MONTGOMERY COUNTY PLANNING BOARD

Referral Number _____
 assigned by the MCPB upon
 acceptance of referral for review

This Referral must be received SEVEN CALENDAR DAYS prior to the MCPB meeting date in order for it to be placed on the agenda.

TO: Montgomery County Planning Board,
 Old County Courthouse,
 PO Box 1500, Fonda, New York 12068
 Phone: 518-853-8334
 Fax: 518-853-8336

FROM: Municipal Board: Zoning Board
 Referring Officer: Neal Erkson
 Mail original resolution to: Town of Munden
134 State Hwy 80
Fort Plain, NY 13339

1. Applicant: Ephraim Zook 2. Site Address: 202 Pickle Hill Rd
3. Tax Map Number(s): 45.-1-5.112 4. Acres: 86
5. Is the site currently serviced by public water? Yes No
6. On-site waste water treatment is currently provided by: Public Sewer or Septic System
7. Current Zoning: Ag. 8. Current Land Use: Farm Land / House
9. Project Description: Originally Subdivision 14.5 Acres / 71.5

10. MCPB Jurisdiction:

- Text Adoption or Amendment Site is located within 500' of: _____
- a municipal boundary.
 - a State or County thruway/highway/roadway
 - an existing or proposed State or County park/recreation area
 - an existing or proposed County-owned stream or drainage channel
 - a State or County-owned parcel on which a public building or institution is situated
 - a farm operation within an Agricultural District (Incl. Ag data Statement) (does not apply to area variances)

11. PUBLIC HEARING: Date: 05/04/26 Time: 7:30 Location: Munden

Referred Action(s)

If referring multiple, related actions, please identify the referring municipal board if different from above.

12. Text Adoption or Amendment Referring Board: _____
 Comprehensive Plan Local Law Zoning Ordinance Other _____

13. Zone Change Referring Board: _____
 Proposed Zone District: _____ Number of Acres: _____

Purpose of the Zone Change: _____

14. Site Plan Project Site Review Referring Board: _____
 Proposed Improvements: _____

Proposed Use: _____

Will the proposed project require a variance? Yes No Type: Area Use
 Specify: _____

Is a State of County DOT work permit needed? If Yes : State or County No
 Specify: _____

15. Special Permit

Referring Board:

Section of local zoning code that requires a special permit for this use: _____

Will the proposed project require a variance? Yes No Type: Area Use

16. Variance

Referring Board:

Area Use

Town of Menden Zoning Board

Section(s) of local zoning code to which the variance is being sought: 90-13

Describe how the proposed project varies from the above code section: _____

road frontage of 122', code 200'

SEQR Determination

Action:

Finding:

- Type I
- Type II
- Unlisted Action
- Exempt

- Positive Declaration – Draft EIS
- Conditional Negative Declaration
- Negative Declaration
- No Finding (Type II Only)

SEQR determination made by (Lead Agency): _____ Date: _____

REQUIRED MATERIAL

Send 3 copies of a "Full Statement of the Proposed Action" which includes:

All materials required by and submitted to the referring body as an application

- If submitting site plans, please submit only 1 large set of plans, and 12 11x17 packets.
- All material may be submitted digitally as well at <http://www.mcbdc.org/planning-services/montgomery-county-planning-board-referrals/>

This referral, as required by GML §239 1 and m, includes complete information, and supporting materials to assist the Montgomery County Planning Board (MCPB) in its review. Recommendations by MCPB shall be made to the Referring Body within thirty days of receipt of the Full Statement.

Tammy Beavregard, Town Clerk
Name, Title & Phone Number of Person Completing this Form 284 Secretary
518-993-3443

5/5/26
Transmittal Date

This side to be completed by Montgomery County Planning.

REFERRAL FORM
MONTGOMERY COUNTY PLANNING BOARD

TO: _____

Receipt of 239-m referral is acknowledged on _____. Please be advised that the Montgomery County Planning Board has reviewed the proposal stated on the opposite side of this form on _____ and makes the following recommendation.

- Approves

- Approves (with Modification)

- Disapproves:

- No significant County-wide or inter-community input

- Not subject to Planning Board review

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Section 239-m of the General Municipal Law requires that within thirty days after final action by the municipality is taken; a report of the final action shall be filed with the County Planning Board.

Date

Kenneth F. Rose, Director
Montgomery County Dept. of Economic
Development and Planning

Application #ZBA: _____

Date: _____

**Town of Minden
Zoning Board of Appeals**

Application to Board of Appeals

A completed Application must be filed with the Town Clerk at least ten (10) days prior to the meeting at which it is to be considered by the Zoning Board of Appeals.

Applicant: Same

Property Owner: Ephraim Zook
(if different)

Address: _____

Address: 202 Picklehill RD
Fort Plain NY 13339

Phone: () _____

Phone: (518) 921-8455

Professional Advisor: _____

Other : _____
(if appropriate)

Address: _____

Address: _____

Phone: () _____

Phone: () _____

1) Property Location

Address: 202 Picklehill RD Fort Plain NY 13339

General Location: _____

Zoning District: _____

Tax Parcel ID # (SBL) 45.-1-5-112

2) Type of Application (please check appropriate box(s):

? Interpretation of the Zoning Ordinance and/or map

Area Variance

? Use Variance

? Other _____

Application #ZBA: _____

Date: _____

3) For variances and interpretations, indicate the articles(s), section(s), subsection(s) and paragraph(s) of the Zoning Ordinance that apply (by number):

article - _____

section - _____

subsection - _____

paragraph - _____

4) If previous applications have been made with respect to this property, indicate the Application(s) or Appeal Number(s) and Date(s) below:

_____ date _____

_____ date _____

5) Indicate the reason for the filing of this application. Complete only the relevant blanks below (attach extra sheets, if necessary):

A. Interpretation: Wanting 122' feet Road frontage
OR I could do Property line Adjust to make 130'
~~Other~~ the other 45' Needs stay with 75 Acres
to give the Farmer Access to field.

~~B. Area Variance:~~ Survey Maps are provide to plaining Board
Already.

C. Use Variance: _____

G. Other _____

6) If application is for a use variance applicant must demonstrate unnecessary hardship in accordance with the requirements of Section 90-62, paragraph D of the Town of Minden Zoning Law. Attach extra sheets if necessary.

Application #ZBA: _____
Date: _____

- 7) If the application is for a use variance and the property in question is a farm operation within a NYS Agricultural District or with boundaries within 500 feet of a farm operation within a NYS Agricultural District, the applicant must complete and submit (with this application) an Agricultural Data Statement . See attached Appendix A.
- 8) If applicable, a completed part 1 of an Environmental Assessment Form for conformance with the New York State Environmental Quality Review Act (SEQR), 6 NYCRR 617. See attached Appendix B.
- 9) Applicant must fill out sketch plan sheet attached.
- 10) Applicant shall notify by certified mail, return receipt required, all landowners within 500 feet of the applicants parcel.

State of New York
County of Montgomery

Sworn to this 17 day of March, year of 2026.

Ephraim Zou
Signature of Applicant

State of New York
County of Montgomery

Sworn to this 17 day of March, year of 2026.

Ephraim Zou
Signature of Property Owner



TAMMY L. BEAUREGARD
Notary Public, State of New York
Qualified in Montgomery County

My Commission Expires:

6/13/29

Application #ZBA: 1
Date: 3/17/26

For Office Use Only

Applicant#: E. Zook

Other fees: _____

Application Fee: \$ 70.00

Description: _____

(if applicable)

\$ _____

\$ _____

Total Amount Received: \$ 70.00

Date Received: 3/17/26

Check # _____

Received by: _____

For Zoning Board of Appeals Use Only:

The Zoning Board of Appeals held a Public Hearing on _____ (day) of _____ (date),
_____ (year) in consideration of this application.

The Application is hereby:

? : approved

? : approved with modifications

? : disapproved

Modifications and comments: _____

Chairperson, Town of Minden
Zoning Board of Appeals

Date

For Office Use Only

**Town of Minden
Zoning Board of Appeals**

ZBA Approval Checklist

	Date Completed
<input type="checkbox"/> Zoning Board of Appeals Application is submitted to the Town Clerk ten (10) days prior to the Zoning Board of Appeals Regular scheduled meeting	<u>3/17/26</u>
<input type="checkbox"/> Town Clerk notifies chairman of the Zoning Board of Appeals and mails out the ZBA Application and supporting Materials to each member	<u>3/17/26</u>
<input type="checkbox"/> ZBA reviews application and if it is complete declares intent To be lead agency SEQR (if applicable); sets Public Hearing Date within 62 days and publishes in a newspaper of General circulation in the Town at least five days prior to Said hearing and notifies applicant	<u>4/13/26</u>
<input type="checkbox"/> ZBA refers Use or Area Variance to the County Planning Board in accordance with General Municipal Law 239-m, If applicable	_____
<input type="checkbox"/> Hold Public Hearing	<u>5/4/26</u>
<input type="checkbox"/> Zoning Board of Appeals completes SEQR process if Applicable	_____
<input type="checkbox"/> Zoning Board of Appeals shall decide upon the appeal Within 62 days after the conduct of said public hearing	_____
<input type="checkbox"/> Zoning Board of Appeals files all documents as necessary	_____

**PROCESSING AN AGRICULTURAL DATA STATEMENT
(Pursuant to Section 305-a of the Agriculture and Markets Law)**

- Any application requiring:
 - Special use permit**
 - Site plan approval**
 - Use variance or**
 - Subdivision approval**

- Which requires approval by:
 - A Planning Board**
 - Zoning Board of Appeals**
 - Town Board or**
 - Village Board of Trustees**

Must submit an Agricultural Data Statement (ADS) if the proposed project occurs on property within an agricultural district containing a farm operation or on property with boundaries within 500 feet of a farm operation located within an agricultural district.

- Content of an Agricultural Data Statement requires:
 - Name and address of applicant,
 - Description of the proposed project and its locations,
 - Name and address of any owner of land within the agricultural district, which land contains farm operations and is located within 500 feet of the boundaries of the property upon which the project is proposed,
 - A tax map or other map showing the site of the proposed project relative to the location of the farm operations identified in the ADS

- The Clerk of the appropriate governmental entity is required to mail a written notice containing a description of the proposed project and its location to owners of land as identified by the applicant in the ADS.

- The local reviewing board must evaluate and consider the ADS to determine the possible impacts of the proposed project may have on the functioning of farm operations within the subject agricultural district.

Procedural Considerations

- A map of the town's agricultural district(s) should be well displayed within the municipal office where land use applications are submitted. The map will benefit both the applicant and municipal review officer in determining the location of the subject parcel. An Agricultural District Map^s can be obtained from either the County Planning Department or Clerk of the County Legislative Body.

Appendix A

- The local reviewing board should ascertain present and future farming conditions to ensure the proposed land use does not conflict with current or future farming activities. A farmer's knowledge of local agricultural conditions is fundamental for the local reviewing board's evaluation and determination of appropriate mitigation measures and whether the action proposed will conflict with farming practices.
- The County Agricultural and Farmland Protection Board may assist local reviewing boards in project evaluation. Members of the Board include the County Planning Directors, a County Cooperative Extension Agent and the Chair of the County Soil and Water Conservation District's Board of Directors.
- A copy of the completed ADS and action by the local reviewing board should be submitted for its records to: Montgomery County Agricultural and Farmland Protection Board, PO Box 1500, County Annex Building, Fonda, NY 12068.

¹ Tax map identification numbers of all parcels within a district are listed and are on file at either the County Real Property Tax Office or the County Clerk's Office.

MONTGOMERY COUNTY AGRICULTURAL DATA STATEMENT

Agricultural District Number: _____

Date Of Statement Completion: _____

Date of Referral to Montgomery County Planning Board: _____

Date of Submission to Ag & Farmland Protection Board: _____

Do Not Write Above This Line

APPLICANT: _____

APPLICANT'S AGENT: _____

ADDRESS: _____

ADDRESS: _____

PHONE NO.: _____

PHONE NO.: _____

LOCATION OF PROPOSED PROJECT:

TAX MAP NUMBER: _____

TOWN: _____ ROAD: _____

Description of Proposed Project: _____

List all farm operations which are within an Agricultural District and are located within 500 feet of the boundary of the property which proposes a project. ("FARM OPERATION" means the land used in agricultural production, farm buildings, equipment and farm residential buildings.)

NAME: _____

NAME: _____

ADDRESS: _____

ADDRESS: _____

Tax Map No. _____

Tax Map No. _____

NAME: _____

NAME: _____

ADDRESS: _____

ADDRESS: _____

Tax Map No. _____

Tax Map No. _____

SEQR
State Environmental Quality Review Act
6 NYCRR PART 617

The basic purpose of SEQR is to incorporate the consideration of environmental factors into the existing planning, review and decision-making processes of state, regional and local government agencies at the earliest possible time. To accomplish this goal, SEQR requires that all agencies determine whether the actions they directly undertake, fund or approve may have a significant adverse impact, prepare or request an environmental impact statement.

With this in mind the Town of Minden recognizes its obligation to uphold the intent of the SEQR law. Most applications to the Zoning Board of Appeals are subject to SEQR as a matter of law. Along with the Town's responsibility an applicant also has responsibilities in completing the SEQR process. The depth of the review is based on the project as proposed by the applicant. The initial stage of the review is defined in 6 NYCRR PART 617, any action (project) on the TYPE 1 list must complete part one of a FULL EAF (attached), any action (project) on the TYPE 2 list is not subject to SEQR, and any action (project) not listed (UNLISTED) must complete part one of a Short EAF (attached). Please refer to these lists to see where your project is located or not located in the case of an unlisted action.

As the review is conducted by the Zoning Board of Appeals certain environmental impacts may be identified. If these impacts are significant the Zoning Board of Appeals will need to mitigate those through project change. This may be done through the preparation of an Environmental Impact Statement. The SEQR process must be completed prior to the issuance of a permit or approval.

Any cost incurred by the Town in completing the SEQR process is the responsibility of the applicant.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional

Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: _____ Date: _____

Signature: _____ Title: _____

PRINT FORM

Project: _____

Date: _____

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

		No, or small impact may occur	Moderate to large impact may occur
1.	Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2.	Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3.	Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4.	Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5.	Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6.	Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7.	Will the proposed action impact existing: a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
	b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8.	Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9.	Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10.	Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11.	Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project:

Date:

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

PRINT FORM

RESOLUTION BY:

SECOND BY:

RESOLUTION UPDATING FEE SCHEDULE FOR THE ZONING BOARD OF APPEALS

WHEREAS, the Town of Minden town board finds it necessary to update the fee schedule for the Zoning board of appeals based on the increased cost of advertising, postage, office supplies and equipment, increased cost of employees and the duration of time since the last updated fee schedule.

BE IT HEREBY RESOLVED, that the Town of Minden town board updates the fee schedule for the Zoning board of appeals as follows:

Town of Minden – Zoning Board of Appeals Fee Schedule:

Regular Variance - \$70.00 per application

Large Impact - \$150.00 per application

Vote on resolution:

Supervisor	Cheryl A. Reese
Council member	S. Joan Eckler
Council member	Karolann Grimm
Council member	Stephen Heiser
Council member	Elwyn Webb

SUPERVISOR

TOWN CLERK



Town of Minden
Planning Board
134 St. Hwy. 80
Fort Plain, NY 13339

Referral to the ZBA

At the Planning Boards meeting on March 10, 2026 Ephraim Zook came before the board with a subdivision application for his property at 202 Pickle Hill Rd., SBL# 45.-1 -05.111.

After reviewing the maps it was noted that there was a lack of road frontage footage of 200 ft..

In our zoning law we have flag lots with a road frontage of 60 feet but a driveway of only 300 ft..

What Ephraim has proposed is road frontage of 122.49 feet and a driveway depth of 1459.35 feet.

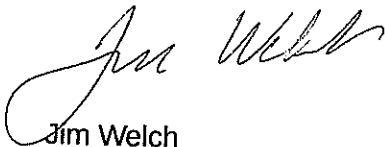
There is road frontage left of 49.19 feet but this will be used as access to the remaining farm land.

It is the purpose of the Planning Board to preserve as much of all farmland as possible as stated in our Zoning Regulations.

The land on each side of his driveway is viable farmland.

The Planning Board by Motion and a second and voted upon to refer this application to the ZBA for an Area Variance..

Sincerely Yours,



Jim Welch
Chairman

CC: Ephraim Zook
Jim Castrucci - CEO

House 45.-1-5.112

Application #: _____
Date: _____

518-993-3443

Town of Minden

134 Sthwy 80, Fort Plain, NY 13339

Minor Subdivision Application

Payment shall be payable to: Town of Minden
(\$400.00 Minimum Fee)

Application fee: \$200.00 per completed parcels (Example: One Tax parcel, divided into Two = \$400.00 fee due)

A completed application must be filed with the Town Clerk at least ten (10) days prior to the meeting at which it is to be considered by the Planning Board, including all applicable attached information.

Applicant: Ephraim R. Zook

Address: 202 Pickle Hill Rd
Fort Plain NY 13339

Phone: (1-518-921-8455)

Professional Advisor: Benjamin Gallup
(surveyor)

Address: 55 East Main St.
Nelliston NY 13410

Phone: (1-518-993-3541)

License #: 51140

Property Owner: _____
(If different)

Address: _____

Phone: () _____

Contact Person: _____

Address: _____

Phone: () _____

Property Location:

Address: 202 Pickle Hill Road

General Location: _____

Tax Parcel ID# (SBL): 45.-1-5.112

of Acres: 1.44±

The Applicant must submit (with this application) all the required information as described on the Subdivision Submission Requirement Checklist (see attached). This checklist is intended to be a guide to the applicant, for specifics on submission requirements, procedures, timeframes, etc., the applicant should refer to the Town of Minden Subdivision Law, and/or State Law (SEQR, Ag & Markets, etc.)

Applicant Signature: Ephraim Zook

Property Owner's Signature: _____

Date: 3/4/26

Date: _____

Application#: _____
Date: _____

For Office Use Only:

Subdivision Name: _____
Application Fee: \$ _____ Other Fees: \$ _____
Describe: _____

\$ _____

Total Amount Received: \$ _____
Date Received: _____
Check #: _____
Received By: _____



For Planning Board Use Only:

The Planning Board held a Public Hearing on _____ (Day) of _____
(Date), _____ (Year) in consideration of this application.

The application is hereby:

- _____ Approved
- _____ Approved with Modifications
- _____ Disapproved

Modifications and Comments:

Chairperson, Town of Minden Planning Board

Date

**Town of Minden
Subdivision Submission Requirement
Checklist**

Subdivision shall be prepared by a land surveyor duly licensed by the State of New York at a scale of one inch (1") to fifty feet (50') or one inch (1") to twenty feet (20') or less and on appropriate material. Maps must be a minimum of eight- and one-half inches by eleven inches and a maximum of thirty-four inches.

Subdivision Submission shall include:

- _____ 1) A completed and signed subdivision application (including this checklist and all information required hereon including submission requirements of Sections 77-30, 77-31, and 77-32).
- _____ 2) If the property is a farm operation within a NYS Agricultural District or with boundaries within 500 feet of a farm operation within a NYS Agricultural District, the applicant must complete and submit (with this application) an Agricultural Data Statement (NYS Ag. & Markets) (see attached Appendix A).
- _____ 3) A completed part 1 of an Environmental Assessment Form (either short or full form, depending upon the nature of the proposal and in conformance with the New York State environmental Quality review Act SEQR (6 NYCRR 617), see attached forms in Appendix B.
- _____ 4) Copy of Tax map(s).
- _____ 5) Existing restrictions on the use of land including easements, covenants, and land-use regulations.

In addition, each Subdivision Plat shall include:

- _____ 6) Subdivision name; the tax map section, block, and lot number(s); scale; north arrow; location map showing on a tax map, USGS map or street map the general location of the plat, and date.
- _____ 7) Name and address of the owner of record, developer, and seal of licensed land surveyor.
- _____ 8) Subdivision boundaries.
- _____ 9) Contiguous properties and name of owners.
- _____ 10) Existing and proposed roads, sidewalks, utilities, structures, parking lots, and drainage systems.
- _____ 11) Water courses, marshes, wooded areas, public facilities, and other significant physical features on or near this site.
- _____ 12) Proposed layout of lots, including lot width and depths, road layout, open space, drainage, water supply and sewage disposal facilities.

- ___13) Land contours at ten (10) foot intervals, or other suitable indicators of slope.
- ___14) Proposed alterations of existing topography.
- ___15) Total acreage of subdivision and number of lots proposed.

In addition, see sections 77-30, 77-31 and 77-32 for specific submission requirements of minor subdivision and major subdivision.

Appendix A – Agricultural Data Statement Compliance

PROCESSING AN AGRICULTURAL DATA STATEMENT

(Pursuant to Section 305-a of the Agriculture and Markets Law)

- Any application requiring:
 - Special Use Permit
 - Site Plan Approval
 - Use of Variance or
 - Subdivision Approval

Which requires approval by:

- A Planning Board
- Zoning Board of Appeals
- Town Board or
- Village Board of Trustees

Must Submit an Agricultural Data Statement (ADS) if the proposed project occurs on property within an agricultural district containing a farm operation or on property with boundaries within 500 feet of a farm operation located within an agricultural district.

- Content of an Agricultural Data Statement requires:
 - Name and address of applicant,
 - Description of the proposed project and its locations,
 - Name and address of any owner of land within the agricultural district, which land contains farm operations and is located within 500 feet of the boundaries of the property upon which the project is proposed,
 - A tax map or other map showing the site of the proposed project relative to the location of the farm operations identified in the ADS.
- The Clerk of the appropriate governmental entity is required to mail a written notice containing a description of the proposed project and its location to owners of land as identified by the applicant in the ADS.
- The local reviewing board must evaluate and consider the ADS to determine the possible impacts of the proposed project may have on the functioning of farm operations within the subject agricultural district.

Procedural Considerations

- A map of the Town's Agricultural District(s) should be well displayed within the municipal office where land use applications are submitted. The map will benefit both the applicant and municipal review officer in determining the location of the subject parcel. An Agricultural District Map can be obtained from either the County Planning Department or Clerk of the County.

Legislative Body. Tax map identification numbers of all parcels within a district are listed and are on file at either the County Real Property Tax Office or the County Clerk's Office.

- The local reviewing board should ascertain present and future farming conditions to ensure the proposed land use does not conflict with current or future farming activities. A farmer's knowledge of local agricultural conditions is fundamental for the local reviewing board's evaluation and determination of appropriate mitigation measures and whether the action proposed will conflict with farming practices.
- The County Agricultural and Farmland Protection Board may assist local reviewing boards in project evaluation. Members of the Board include the County Planning Directors, a County Cooperative Extension Agent, and the Chair of the County Soil and Water Conservation District's Board of Directors.
- A copy of the completed ADS and action by the local reviewing board should be submitted for its records to: Montgomery County Agricultural and Farmland Protection Board, PO Box 1500, County Annex Building, Fonda, NY 12068.

**Town of Minden
Subdivision Approval Checklist**

Subdivision Name: _____

Minor Subdivision:

**Date
Completed**

_____ Applicant submits five (5) copies of the minor subdivision plat and application to the Chairman of the Planning Board accompanied by the required fee

_____ Planning Board reviews Subdivision Application and declares intent to be Lead Agency (SEQR), sets Public hearing date and notifies applicant

_____ Hold Public Hearing

_____ Planning Board completes SEQR process, and files all documents as required by law

_____ Planning Board approves, conditionally approves, disapproves Minor Subdivision

_____ Planning Board files all documents as necessary

AGRICULTURAL DATA STATEMENT

Per 305-a of the New York State Agriculture and Markets Law, any application for a special permit, site plan approval, use variance, or subdivision approval requiring municipal review and approval that would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

A. Name of applicant: _____

Mailing address: _____

B. Description of the _____

proposed project: _____

C. Project site address: _____ Town: _____

D. Project site tax map number: _____

E. The project is located on property:
___ within an Agricultural District containing a farm operation, or
___ with boundaries within 500 feet of a farm operation located in an Agricultural District

F. Number of acres affected by project: _____

G. Is any portion of the project site currently being farmed?
___ yes, if yes, how many acres _____ or square feet _____
___ no

H. Name and address of any owner of land containing farm operations within the Agricultural District and is located within 500 feet of the boundary of the property upon which the project is proposed.

I. Attach a copy of the current tax map showing the site of the proposed project relative to the location of farm operations identified in item H above

.....

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration, and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

Name and Title of Person completing form

Date

MONTGOMERY COUNTY AGRICULTURAL DATA STATEMENT

Agricultural District Number: _____
Date of Statement Completion: _____

Date of Referral to Montgomery County Planning Board: _____

Date of Submission to Ag & Farmland Protection Board: _____

Do not write above this line

APPLICANT: Ephraim Zook

APPLICANT'S AGENT: _____

ADDRESS: 202 Pickle Hill Rd
East Plain NY 13339

ADDRESS: _____

PHONE NO: 518-921-8455

PHONE NO: _____

LOCATION OF PROPOSED PROJECT

TAX MAP NUMBER: 45-1-5.112

TOWN: Minden

ROAD: Pickle Hill Rd

Description of Proposed Project: Subdivide out 14.5A± ~~8~~ out of 86A±.

List all farm operations which are within an Agricultural District and are located within 500 feet of the boundary of the property which proposes a project. ("FARM OPERATION" means the land used in agricultural production, farm buildings, equipment, and farm residential buildings.)

NAME: Joseph Zook

NAME: _____

ADDRESS: 272 Pickle Hill Rd
East Plain NY 13339

ADDRESS: _____

TAX MAP NO.: 45-1-3

TAX MAP NO.: _____

NAME: _____

NAME: _____

ADDRESS: _____

ADDRESS: _____

TAX MAP NO.: _____

TAX MAP NO.: _____

(If additional space is required, please add a sheet)

Appendix B – SEQR Compliance

SEQR State Environmental Quality Review Act 6 NYCRR PART 617

The basic purpose of SEQR is to incorporate the consideration of environmental factors into the existing planning, review and decision-making processes of state, regional and local government agencies at the earliest possible time. To accomplish this goal, SEQR requires that all agencies determine whether the actions they directly undertake, fund, or approve may have significant adverse impact on the environment, and, if it is determined that the action may have a significant adverse impact, prepare, or request an environmental impact statement.

With this in mind, the Town of Minden recognizes its obligation to uphold the intent of the SEQR law. Any application to the Planning Board is subject to SEQR as a matter of law. Along with the Town's responsibility an applicant also has responsibilities in completing the SEQR process. The depth of the review is based on the project as proposed by the applicant. The initial stage of the review is based on the project as proposed by the applicant. The initial stage of review is defined in 6 NYCRR PART 617. Any action (project) on the TYPE 1 list must complete part one of a Full EAF (attached), and action (project) on the TYPE 2 list is not subject to SEQR, and any action (project) not listed (UNLISTED) must complete Part One of a Short EAF (attached).

As the review is conducted by the Planning Board certain environmental impacts may be identified. If these impacts are significant the Planning Board will need to mitigate those through project change. The SEQR process must be completed prior to the issuance of a permit or approval.

Any cost incurred by the Town in competing the SEQR process is the responsibility of the applicant.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: <i>Subdivision of lands of Ephraim Zook</i>			
Project Location (describe, and attach a location map): <i>45.-1-5.112 202 Pickle Hill Road</i>			
Brief Description of Proposed Action: <i>Subdivide out 14.5 A± from 86 A±</i>			
Name of Applicant or Sponsor: <i>Ephraim Zook</i>		Telephone: <i>518-921-8455</i>	
		E-Mail:	
Address: <i>202 Pickle Hill Rd</i>			
City/PO: <i>Fort Plain</i>		State: <i>NY</i>	Zip Code: <i>13339</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <i>Planning Board Approval</i>			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			<div style="margin-bottom: 5px;"><i>14.5</i> acres</div> <div style="margin-bottom: 5px;"><i>-</i> acres</div> <div style="margin-bottom: 5px;"><i>131</i> acres</div>
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional
 Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

16. Is the project site located in the 100-year flood plan?

17. Will the proposed action create storm water discharge, either from point or non-point sources?
If Yes,
a. Will storm water discharges flow to adjacent properties?
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?
If Yes, briefly describe:

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?
If Yes, explain the purpose and size of the impoundment:

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
If Yes, describe:

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
If Yes, describe:

	NO	YES
15.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17a.	<input type="checkbox"/>	<input type="checkbox"/>
17b.	<input type="checkbox"/>	<input type="checkbox"/>
18.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Ephraim Zook Date: _____

Signature: _____ Title: Owner

Project:

Date:

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

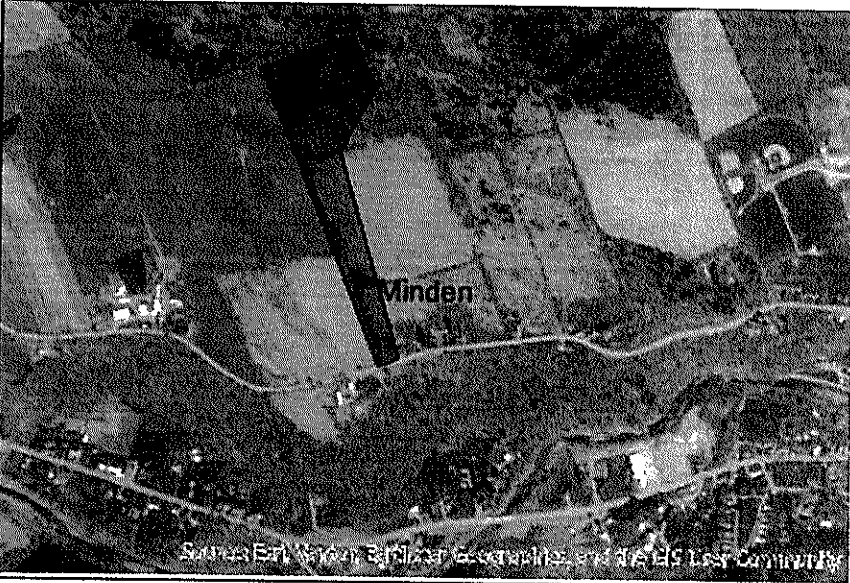
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project: _____
 Date: _____

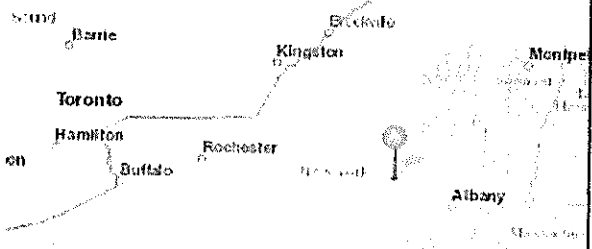
**Short Environmental Assessment Form
 Part 3 Determination of Significance**

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENTAL, Navteq, Esri, Japan, METI, Esri, China (Hong Kong), Esri, Korea, Esri, Thailand, Swisstopo, IGN, OpenStreetMap contributors, and the GIS User Community. Esri, HERE, Garmin, INRA, USGS, NPS, Pittsburgh

- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] Yes
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] No